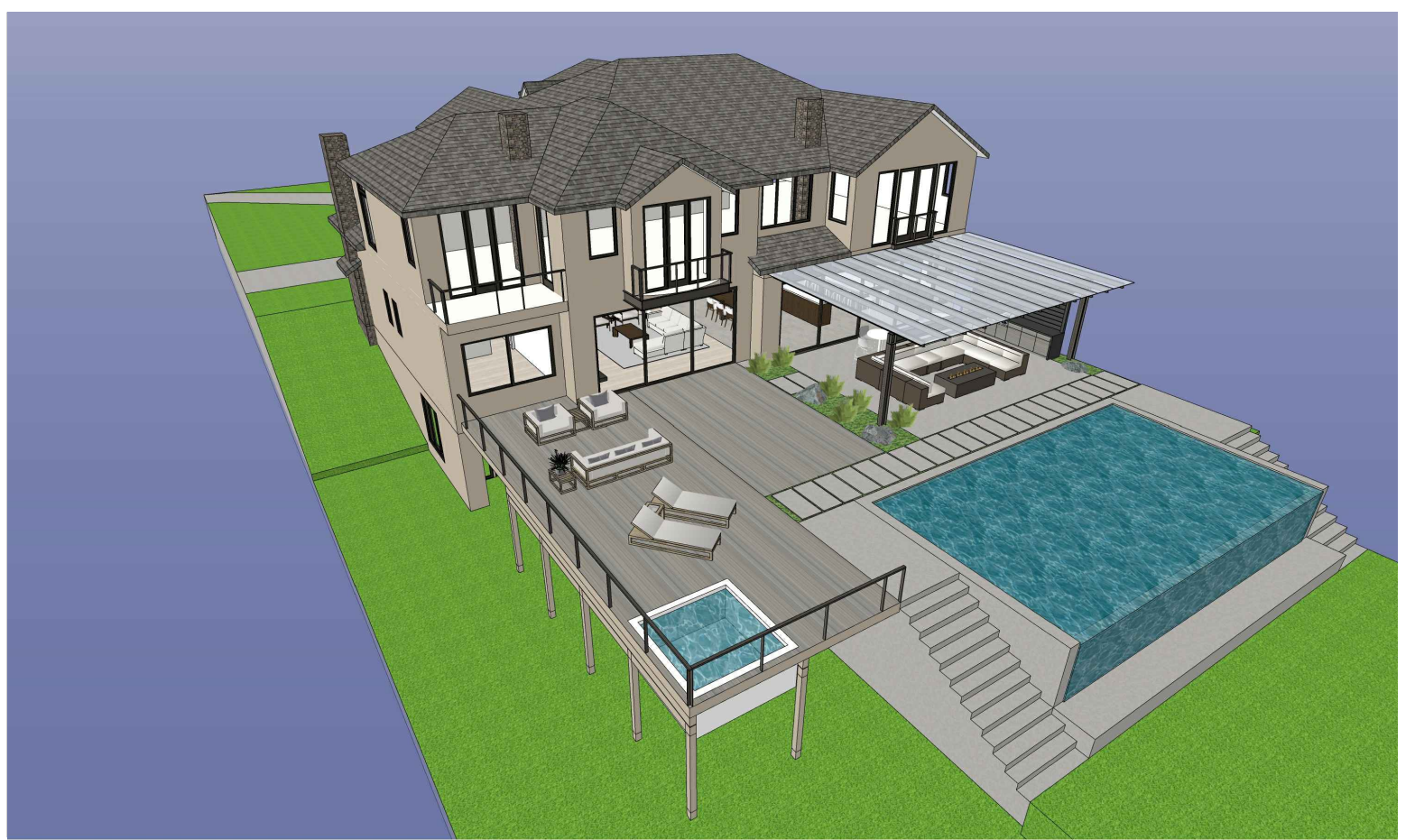
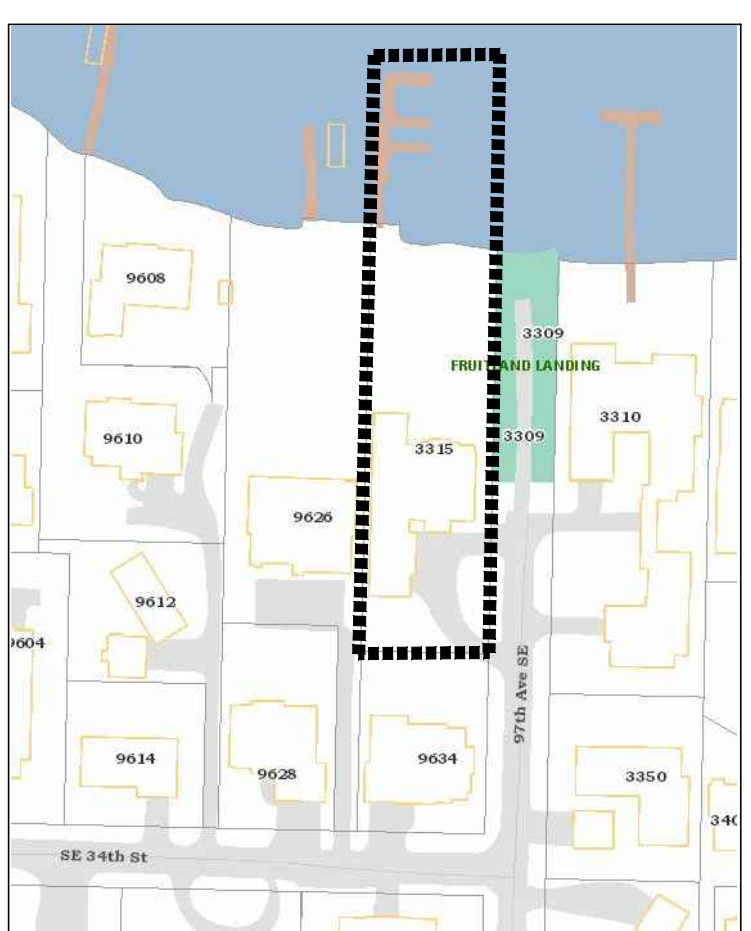


# LOUDEN RESIDENCE PERMIT SET



CONCEPTUAL PROJECT IMAGE



VICINITY MAP

**LEGAL DESCRIPTION:**

LAKEMONT ADD UNREC PARCEL A MERCER ISLAND SHORT NO 79-06-17 REC NO 7909100629 SD PLAT DAF - ALL TR 3 & SH LDS ADJ

**CONTACT INFORMATION:**

**ARCHITECT:**  
REGAN McCLELLAN, AIA  
McCLELLAN ARCHITECTS  
3309 WALLINGFORD AVE N  
SEATTLE, WA 98103  
(206) 728-0480  
REGAN@MCCARCH.COM

**STRUCTURAL ENGINEER:**  
GARY GILL S.E.  
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**CONTRACTOR:**  
JIM CORNELL  
SCHULTZ MILLER  
425-287-1950  
jcornell@schultzmiller.com

**GEOTECHNICAL ENGINEER:**  
MARC McGINNIS  
GEOTECH CONSULTANTS, INC.  
(425) 260-1116 (Mobile)  
marcm@geotechnw.com

**ENERGY/MECHANICAL CODE COMPLIANCE:**

- 1) WORK TO COMPLY WITH THE 2015 WSEC AND 2015 IMC.
- 2) FOR ADDITIONS LESS THAN 500 SF, .5 ENERGY CREDITS ARE REQUIRED. OPTION 3A SHALL BE PROVIDED FOR NEW HVAC EQUIPMENT

HIGH EFFICIENCY HVAC EQUIPMENT 3a: 1.0 CREDIT  
GAS, PROPANE OR OIL-FIRED FURNACE WITH MINIMUM AFUE OF 94%, OR GAS, PROPANE OR OILED-FIRED BOILER WITH MINIMUM AFUE OF 92% TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE HEATING EQUIPMENT TYPE AND THE MINIMUM EQUIPMENT EFFICIENCY.

FURNACE: 2 x TRANE, S9V2B080U4, UPFLOW/ HORIZONTAL LEFT/RIGHT, TWO STAGE CONDENSING GAS FIRED FURNACE 80,000 BTUH

HEAT PUMP: 2 x TRANE, 4TWX8048A, 4 TON SPLIT SYSTEM HEAT 1Ph

- 3) ALL NEW BUILDING ELEMENTS WILL FOLLOW THE PRESCRIPTIVE REQUIREMENTS:

VERTICAL WINDOW ASSEMBLY (U):	0.30
OVERHEAD GLAZING ASSEMBLY (U):	0.50
DOOR ASSEMBLY (U):	0.30
CEILING:	R38 ADV. or R-49
VAULTED CEILING:	R-38
WALL ABOVE GRADE:	R-21 INT
WALL INT. BELOW GRADE:	R-21 TB
WALL EXT. BELOW GRADE:	R-10
FLOOR:	R-38
SLAB ON GRADE & PERIMETER:	R-10

HIGH EFFICIENCY HVAC EQUIPMENT 94%  
- GAS, PROPANE OR OIL-FIRED FURNACE (MIN AFUE)

- 4) A MINIMUM OF 75 PERCENT OF ALL LIGHT FIXTURES SHALL BE HIGH EFFICACY PER WAC 51-11R.

- 5) PERMANENTLY MOUNTED EXTERIOR LIGHTS FIXTURES WILL BE HIGH EFFICACY UNLESS EQUIPPED WITH BUILT-IN PHOTO CONTROL SENSOR PER WSEC 505.2.

- 6) ALL BATHROOMS AND TOILET ROOMS TO BE EQUIPPED WITH A MINIMUM 50 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN. ALL KITCHENS TO BE EQUIPPED WITH A MINIMUM 100 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN PER IRC M 1507.4.

**PROJECT DATA:**

**PARCEL NUMBER:** 413930-0015  
**PROJECT ADDRESS:** 3315 97TH AVE SE

**LOT SIZE:** 22,355 SF

**ZONE:** R8.4

**OCCUPANCY TYPE:** R-3

**CONSTRUCTION TYPE:** V-B

**AUTOMATIC SPRINKLER SYSTEM:** EXIST

**PROJECT DESCRIPTION:**  
REMODEL EXISTING INTERIOR OF HOME, REPLACE EXISTING PATIO ROOF, RENOVATE EXTERIOR FINISHES

**SHEET LIST:**

**GENERAL:**  
G0.0 TITLE SHEET  
G0.1 GENERAL CONDITIONS + ABBREVIATIONS

SURVEY

**ARCHITECTURAL:**

A0.1 SITE PLAN AREA CALCULATIONS  
A0.2 FLOOR AREA CALCULATIONS

D2.0 DEMOLITION PLANS  
D3.0 DEMOLITION BUILDING ELEVATIONS  
D3.1 DEMOLITION BUILDING ELEVATIONS

A2.0 FIRST FLOOR PLAN - SOUTH  
A2.1 FIRST FLOOR PLAN - NORTH  
A2.2 SECOND FLOOR PLAN - PARTIAL

A3.0 BUILDING ELEVATIONS  
A3.1 BUILDING ELEVATIONS / OPENING SCHED

A4.0 WALL SECTIONS  
A4.1 BUILDING SECTIONS / DETAILS

**STRUCTURAL:**

S1.0 GENERAL NOTES & ABBREVIATIONS

S2.1 BASEMENT FOUNDATION PLAN  
S2.2 MAIN FLOOR FRAMING PLAN  
S2.3 2ND FLOOR FRAMING PLAN  
S2.4 EXISTING ROOF FRAMING PLAN

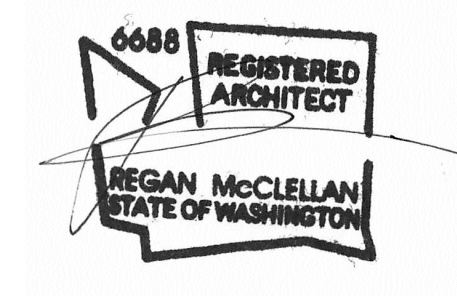
S3.1 FOUNDATION DETAILS

S4.1 TYP FRAMING DETAILS  
S4.2 FRAMING DETAILS

PROJECT:  
LOUDEN RESIDENCE  
3315 97TH AVE SE  
MERCER ISLAND, WA

ISSUE:  
2020-03-13 PERMIT SUBMISSION  
01 2020-07-03 REV1  
02 2020-10-15 REV2

PERMIT DRAWINGS



DATE:  
October 15th, 2020

SHEET TITLE:  
TITLE SHEET

SHEET:

G0.0

# LOUDEN RESIDENCE PERMIT SET

## ABBREVIATIONS:

ABV	ABOVE	IBC	INTERNATIONAL BUILDING CODE
ACQUST	ACOUSTIC, ACOUSTICAL	INSUL	INSULATION
ACCY	ACCESSORY	INT	INTERIOR
ADDM	ADDENDUM	JB	JUNCTION BOX
ADDL	ADDITIONAL	JNT	JOINT
ADJ	ADJUSTABLE	LAV	LAVATORY
AFF	ABOVE FINISHED FLOOR	LTG	LIGHTING
AFG	ABOVE FINISHED GRADE	MATL	MATERIAL
ALT	ALTERNATE, ALTERNATIVE	MAX	MAXIMUM
ALUM	ALUMINUM	MDO	MEDIUM DENSITY OVERLAY
ANCH	ANCHOR	MDF	MEDIUM DENSITY FIBER BOARD
APPROX	APPROXIMATELY		
ARCH	ARCHITECT, ARCHITECTURAL		
BB	BASEBOARD	MECH	MECHANICAL
BLDG	BUILDING	MFR	MANUFACTURER
BLKG	BLOCKING	MIN	MINIMUM
BLW	BELOW	MO	MASONRY OPENING
BM	BEAM	MTL	METAL
B/O	BOTTOM OF		
BRD	BOARD	N	NORTH
BTW	BETWEEN	(N)	NEW
CAB	CABINET	NIC	NOT IN CONTRACT
CALC	CALCULATION	NTS	NOT TO SCALE
CL	CENTERLINE		
CJNT	CONTROL JOINT	OCCUP	OCCUPANTS, OCCUPANCY
CLG	CEILING	OL	OCCUPANCY LOAD
CLR	CLEAR	O/	OVER
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
CNTR	COUNTER, COUNTER SUNK	OPG	OPENING
COL	COLUMN	OPP	OPPOSITE
CONC	CONCRETE	ORD	OVERFLOW ROOF DRAIN
CONT	CONTINUOUS		
CORR	CORRIDOR	PNT	PAINT
CPT	CARPET	PEN	PENETRATION
CT	CERAMIC TILE	PERP	PERPENDICULAR
CTR	CENTER	PJ	PANEL JOINT
		PL	PROPERTY LINE
DBL	DOUBLE	PLAM	PLASTIC LAMINATE
DEG	DEGREE	PLWD	PLYWOOD
DEPT	DEPARTMENT	PR	PAIR
DIA	DIAMETER	PRELIM	PRELIMINARY
DIM	DIMENSION	PT	PRESSURE TREATED
DISP	DISPENSER	PTN	PARTITION
DN	DOWN		
DS	DOWN SPOUT	R	RISER
DW	DISHWASHER	REC	RECCOMENDED
DWG	DRAWING	REF	REFERENCE
E	EAST	REFR	REFRIGERATOR
EA	EACH	REINF	REINFORCED
EL	ELEVATION	REQD	REQUIRED
ELEV	ELEVATOR	RET	RETAINING
ENGR	ENGINEER	R O	ROUGH OPENING
EQ	EQUAL		
EQUIP	EQUIPMENT	S	SOUTH
EQUIV	EQUIVALENT	SC	SOLID CORE
EXP	EXPANSION, EXPOSED	SCHED	SCHEDULE
(E), EXST	EXISTING, EXPOSED	SCWD	SOLID CORE WOOD
EXT	EXTERIOR	SF	SQUARE FEET, SQUARE FOOT
		SG	SAFETY GLAZING
FAB	FABRICATE		
FD	FLOOR DRAIN	SHTG	SHEATHING
FDN	FOUNDATION	SIM	SIMILAR
FE	FIRE EXTINGUISHER	SPEC	SPECIFICATION
FEC	FIRE EXTINGUISHER CABINET	SQ	SQUARE
FF	FINISH FLOOR	SS	STAINLESS STEEL
FIN	FINISH	STD	STANDARD
FLR	FLOOR	STL	STEEL
FT	FEET, FOOT	STOR	STORAGE
FTG	FOOTING	STRUCT	STRUCTURAL
FUR	FURRING, FURRED		
FV	FIELD VERIFY	T	TEMPERED SAFETY GLASS
		T&B	TOP AND BOTTOM
GA	GAUGE	TEMP	TEMPORARY
GALV	GALVANIZED	T&G	TONGUE AND GROOVE
GC	GENERAL CONTRACTOR	THRU	THROUGH
GL	GLASS, GLAZING	T/O	TOP OF
GRT	GROUT	TOM	TOP OF MASONRY
GWB	GYPSON WALL BOARD	TOS	TOP OF STEEL
		TOSL	TOP OF SLAB
HB	HOSE BIB	TOW	TOP OF WALL
HD	HEAD	TYP	TYPICAL
HDWD	HARDWOOD		
HDR	HEADER	UNO	UNLESS NOTED OTHERWISE
HM	HOLLOW METAL		
HORIZ	HORIZONTAL	VERT	VERTICAL
HR	HOUR	VTO	VENT TO OUTSIDE
HT	HEIGHT	VTR	VENT THROUGH ROOF
		W	WEST
		W/	WITH
		W/O	WITHOUT
		WND	WINDOW
		WD	WOOD
		W/R	WATER RESISTANT
		WWF	WELDED WIRE FABRIC

## GENERAL PLAN NOTES:

- 1) REFER TO SHEET A5.0 FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
- 2) ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
- 3) INTERIOR DOORS TO BE INSTALLED 4-1/2" FROM FACE OF STUD TO EDGE OF ROUGH OPENING IF NOT DIMENSIONED
- 4) ALL WINDOW DIMENSIONS ARE TO ROUGH OPENING
- 5) REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE & FRAMING INFORMATION

## GENERAL CONSTRUCTION NOTES:

- 1) THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH INFORMATION FURNISHED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COSTS FOR CORRECTION.
- 2) BEFORE ORDERING MATERIALS OR DOING ANY WORK, THE GENERAL CONTRACTOR AND ALL OF THE SUB-CONTRACTORS SHALL VERIFY ALL MEASUREMENTS ON THE DRAWINGS AND AT THE CONSTRUCTION SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS. ANY DISCOVERED DIFFERENCES SHALL BE REPORTED TO THE ARCHITECTS FOR DESIGN CONSIDERATIONS **BEFORE** PROCEEDING FURTHER WITH THE WORK. THE CONTRACTOR IS HEREBY ADVISED THAT THE DRAWINGS ARE NOT TO SCALE.
- 3) WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- 4) CONTRACTOR SHALL KEEP ALL AREAS UNDER CONSTRUCTION CLEAR OF DIRT AND DEBRIS.
- 5) CONTRACTOR SHALL REPAIR DAMAGED SURFACES WHICH WERE DAMAGED BY CONSTRUCTION OR CLEAN-UP, AND CORRECT CONDITIONS TO MATCH SURROUNDING FINISHED CONDITIONS.
- 6) REPETITIVE FEATURES NOT NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS DRAWN IN FULL.
- 7) DIMENSIONS ON DRAWINGS ARE TAKEN TO THE FACE OF CONCRETE AND TO THE FACE OF STUD, UNLESS OTHERWISE NOTED. FIELD VERIFY ALL DIMENSIONS.
- 8) FIELD VERIFY MILLWORK DIMENSIONS AND ALL WINDOW AND DOOR DIMENSIONS.
- 9) PROTECT ALL PORTIONS OF THE EXISTING BUILDING OR SITE NOT SCHEDULED TO BE REMOVED, IF APPLICABLE, AND REPLACE OR REPAIR ALL SUCH ITEMS DAMAGED DURING CONSTRUCTION. PROVIDE PROTECTION AGAINST INCLEMENT WEATHER, WIND, FROST, EXCESSIVE HEAT, VANDALISM, AND ALL WORKERS, DELIVERY PERSONNEL, SUB-CONTRACTORS AND BUILDING INSPECTORS SO AS TO MAINTAIN ALL WORK, MATERIAL, APPARATUS AND FIXTURES FREE FROM DAMAGE, INCLUDING SURFACE SCRATCHES AND BLEMISHES. ALL NEW AND EXISTING WORK LIKELY TO BE DAMAGED SHALL BE APPROPRIATELY COVERED OR PROTECTED AT ALL TIMES. PROTECT ALL PLANTING AREAS FROM FOOT OR WHEEL TRAFFIC, AND AVOID CRUSHING SAME DUE TO STORED MATERIALS.

## SYMBOLS:

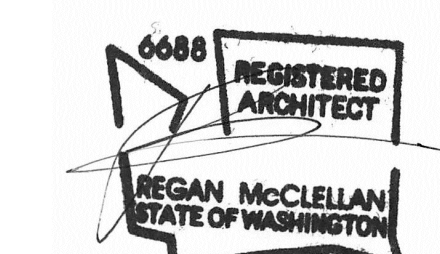
	WINDOW TYPE
	EXTERIOR DOOR TYPE
	DOOR TYPE
	ASSEMBLY TYPE
	SECTION CALL OUT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	100 CFM FAN
	DOWNSPOUT
	FLOOR DRAIN
	HOSE BIB

PROJECT:  
LOUDEN RESIDENCE  
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MERCER ISLAND, WA

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- 2020-10-15 REV2

PERMIT DRAWINGS



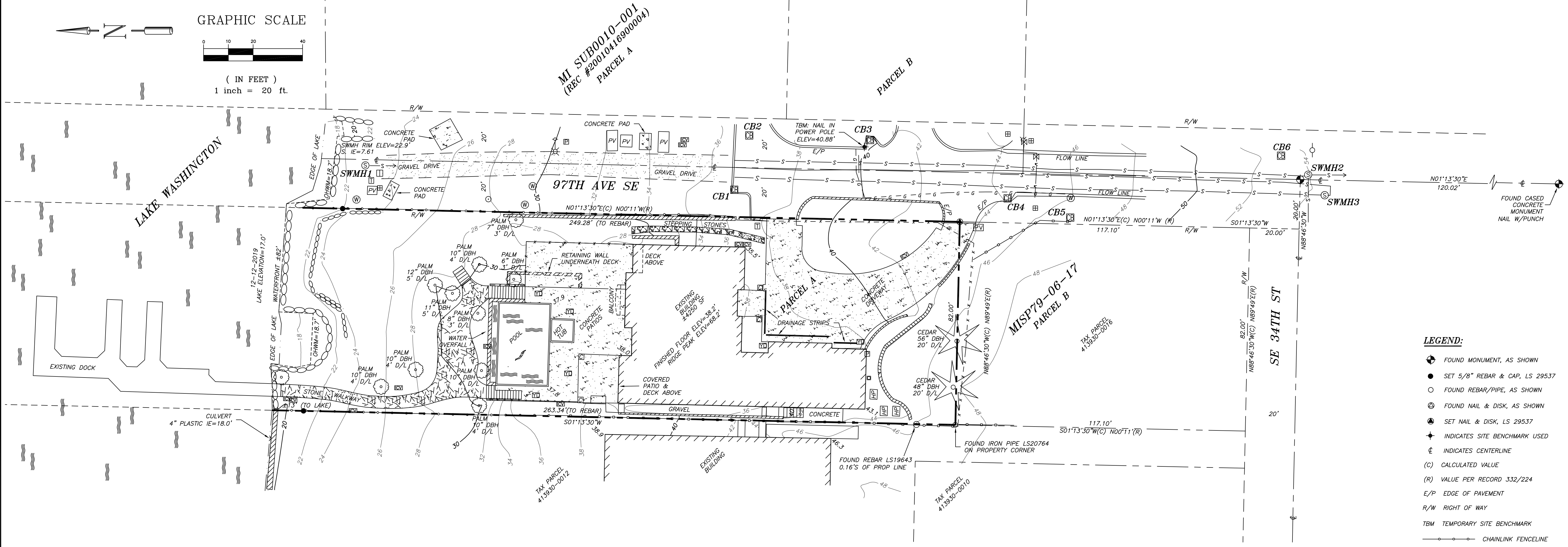
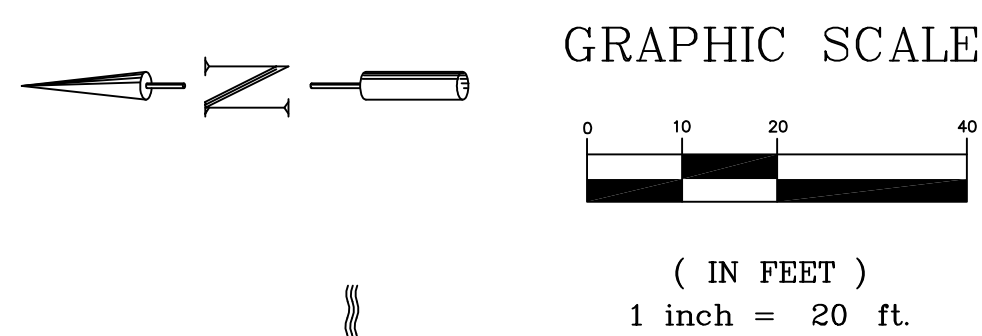
DATE:  
October 15th, 2020

SHEET TITLE:

GENERAL CONDITIONS +  
ABBREVIATIONS

SHEET:

G0.1



- LEGEND:**
- ◆ FOUND MONUMENT, AS SHOWN
  - SET 5/8" REBAR & CAP, LS 29537
  - FOUND REBAR/PIPE, AS SHOWN
  - ⊙ FOUND NAIL & DISK, AS SHOWN
  - ⊕ SET NAIL & DISK, LS 29537
  - ⊕ INDICATES SITE BENCHMARK USED
  - ⊕ INDICATES CENTERLINE
  - (C) CALCULATED VALUE
  - (R) VALUE PER RECORD 332/224
  - E/P EDGE OF PAVEMENT
  - R/W RIGHT OF WAY
  - TBM TEMPORARY SITE BENCHMARK
  - CHAINLINK FENCELINE
  - WOOD FENCELINE
  - RAILING
  - BUILDING COLUMN
  - CB CATCH BASIN
  - COLUMNS
  - ⊕ FIRE HYDRANT
  - ⊕ GAS METER
  - ⊕ HEAT PUMP
  - ⊕ IRRIGATION CONTROL VALVE
  - ⊕ POWER LIGHT POLE
  - POWER POLE
  - VENT?
  - ⊕ POWER METER
  - PV POWER VAULT
  - ⊕ SANITARY SEWER MANHOLE
  - ⊕ TELEPHONE VAULT
  - ★ CONIFEROUS TREE
  - DECIDUOUS TREE
  - ⊕ WATER METER
  - ⊕ WATER MANHOLE
  - ⊕ WATER VALVE
  - WELL MONITOR
  - GAS LINE
  - SANITARY/SEWER LINE
  - D STORM/DRAINAGE LINE
  - W WATER UTILITY LINE

**STORM:**

CB1  
N. 12" STEEL IE=34.0'  
S. 12" CONCRETE IE=34.8'  
E. 12" CONCRETE IE=33.8'

CB2 RIM ELEV=36.1'  
N. 12" STEEL IE=34.5'  
S. 4" PVC IE=34.5'  
W. 12" STEEL IE=34.2'

CB3 RIM ELEV=39.6'  
N. 12" CONCRETE IE=37.9'  
S. 12" CONCRETE IE=38.3'  
E. 4" PVC IE=38.0'

CB4 RIM ELEV=44.0'  
N. 12" CONCRETE IE=42.0'  
S. 12" CONCRETE IE=42.2'  
W. 4" PVC IE=42.6'  
W. 12" STEEL IE=44.2'

CB5 RIM ELEV=46.9'  
N. 12" CONCRETE IE=45.0'  
E. 6" PVC IE=44.9'  
S. 12" STEEL IE=44.9'

CB6 RIM ELEV=52.6'  
N. 12" STEEL IE=50.5'  
S. 12" STEEL IE=50.3'

**SEWER:**

SWMH1 RIM ELEV=22.9'  
S. 12" STEEL IE=7.6'

SWMH2 RIM ELEV=53.9'  
N. 12" STEEL IE=44.1'  
S. 12" STEEL IE=44.6'  
W. 12" STEEL IE=44.2'

SWMH3 RIM ELEV=54.5'  
CONTAINS WOOD BOX

**LEGAL DESCRIPTION:**  
LOT A OF CITY OF MERCER ISLAND SHORT PLAT NO. MI 79-06-17, RECORDED UNDER RECORDING NO. 7909100629, RECORDS OF KING COUNTY, WASHINGTON.  
TOGETHER WITH SHORELANDS OF THE SECOND CLASS.  
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

**NOTES:**  
FIELD MEASUREMENTS FOR THIS SURVEY PERFORMED WITH A 2" TOPCON TOTAL STATION USING TRAVERSE METHODS AND TOPCON GR5 GPS EQUIPMENT THAT MEET OR EXCEED ACCURACY REQUIREMENTS CONTAINED IN WAC 332.130.090.  
THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THEREFORE DOES NOT PURPORT TO SHOW ALL EASEMENTS OR RESTRICTIONS OF RECORD, IF ANY.  
THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP ARE PER RECORD TITLE INFORMATION AND REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.  
THIS TOPOGRAPHIC SURVEY IS INTENDED FOR GENERAL DESIGN PURPOSES. ADDITIONAL SURVEYING MAY BE REQUIRED TO MEET SPECIFIC CITY/COUNTY AND/OR ENGINEERING REQUIREMENTS.  
THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT NAMED HEREIN, TO BE USED ONLY FOR THE PURPOSE FOR WHICH IT WAS ORIGINALLY INTENDED. ITS USE DOES NOT EXTEND TO, AND IS NOT AUTHORIZED FOR USE BY ANY UNNAMED PERSON OR PERSONS. THIS SURVEY IS NOT TRANSFERABLE TO ANY OTHER PARTY WITHOUT THE EXPRESS PERMISSION AND RECERTIFICATION BY THIS SURVEYOR TO ANOTHER PARTY.  
ALL FOUND SURVEY EVIDENCE WAS VISITED ON THE DATE OF THIS SURVEY UNLESS OTHERWISE NOTED.  
COPYRIGHT BY CRONES SURVEYING, INC.

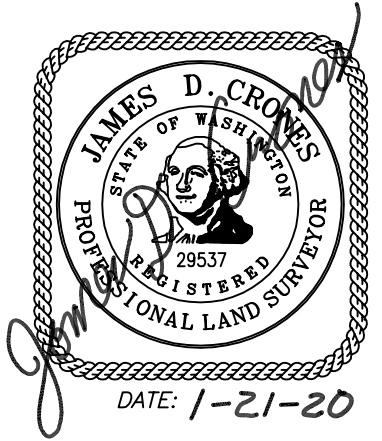
**SITE ADDRESS:**  
3315 98TH AVE SE  
MERCER ISLAND, WA 98040

**SURVEYOR'S CERTIFICATE**  
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION, AT THE REQUEST OF REGAN MCCLELLAN, IN DECEMBER, 2019.

JAMES D. CRONES  
L.S. 29537

*James D. Cronos*

DATE: 1-21-20



**CRONES SURVEYING, INC.**

23806 180TH AVE. S.E. KENT, WA 98042 (425) 432-5930

---

REGAN MCCLELLAN  
LOT SURVEY  
TOPOGRAPHIC SURVEY

---

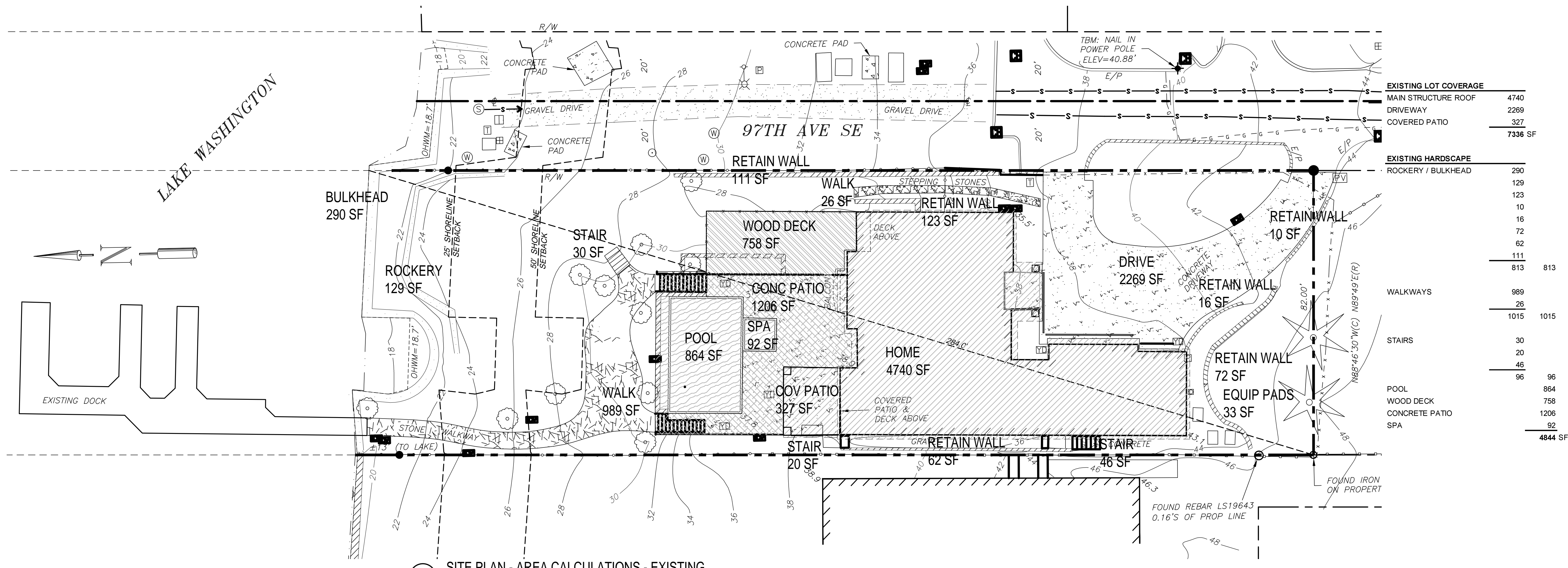
Revisions: 1/22/2020, ADDED OHM LINE

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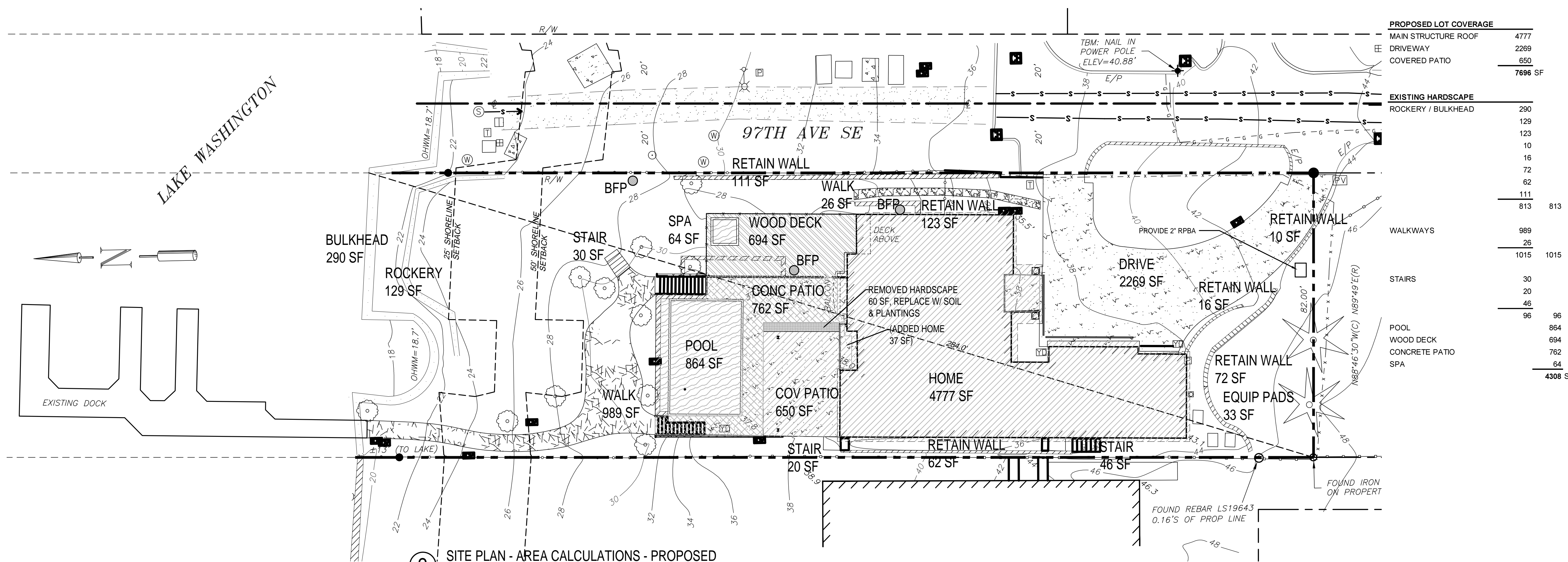
Drawing Date: JANUARY 15, 2020  
Scale: 1" = 20'  
Surveyed: DB/BE  
Drawn: JB  
Checked: JUC  
Filename: MCCLELLAN-TOPO.DWG

---

SHEET  
1 of 1



1 SITE PLAN - AREA CALCULATIONS - EXISTING  
1/16"=1'-0"



2 SITE PLAN - AREA CALCULATIONS - PROPOSED  
1/16"=1'-0"

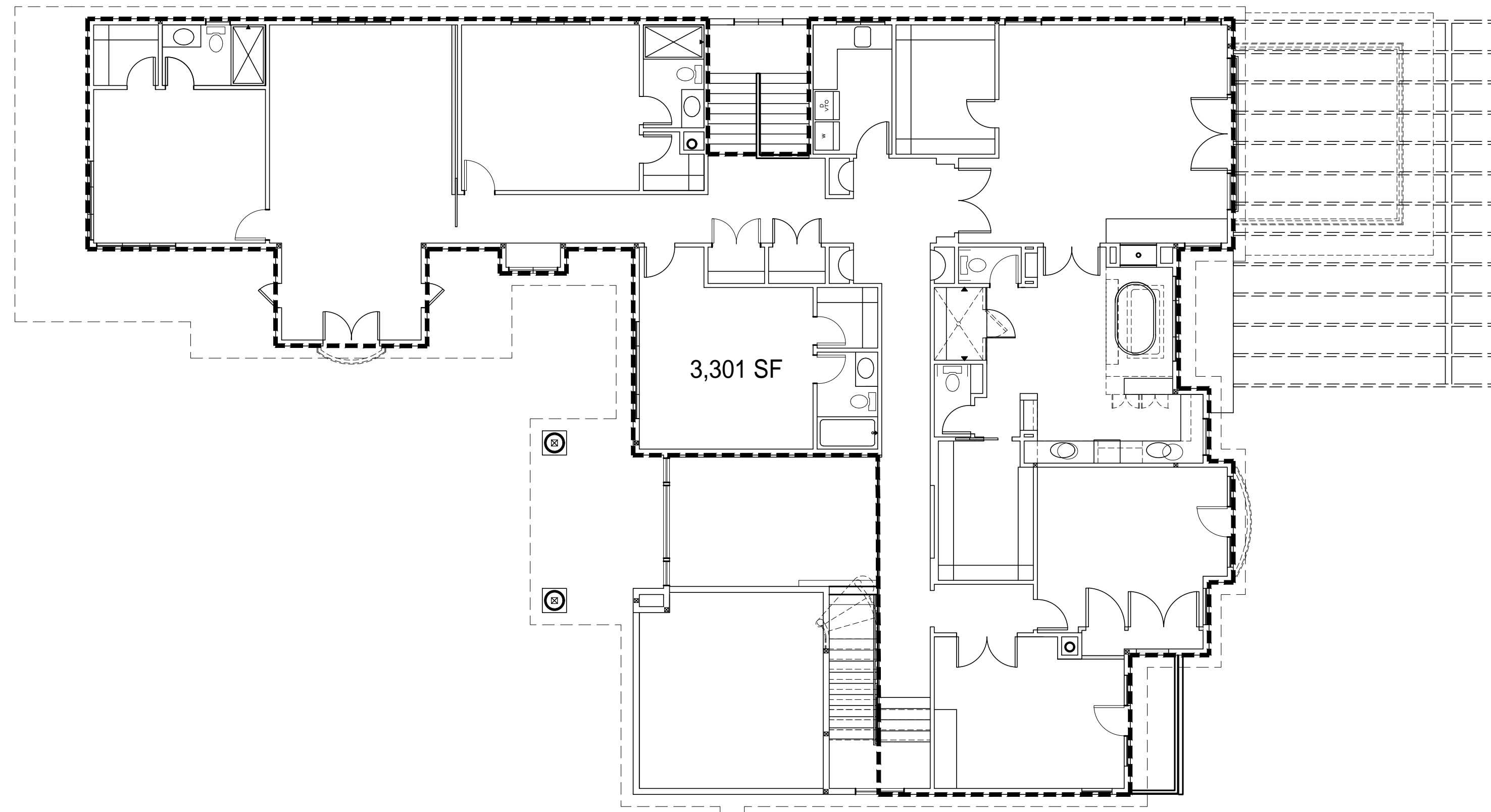
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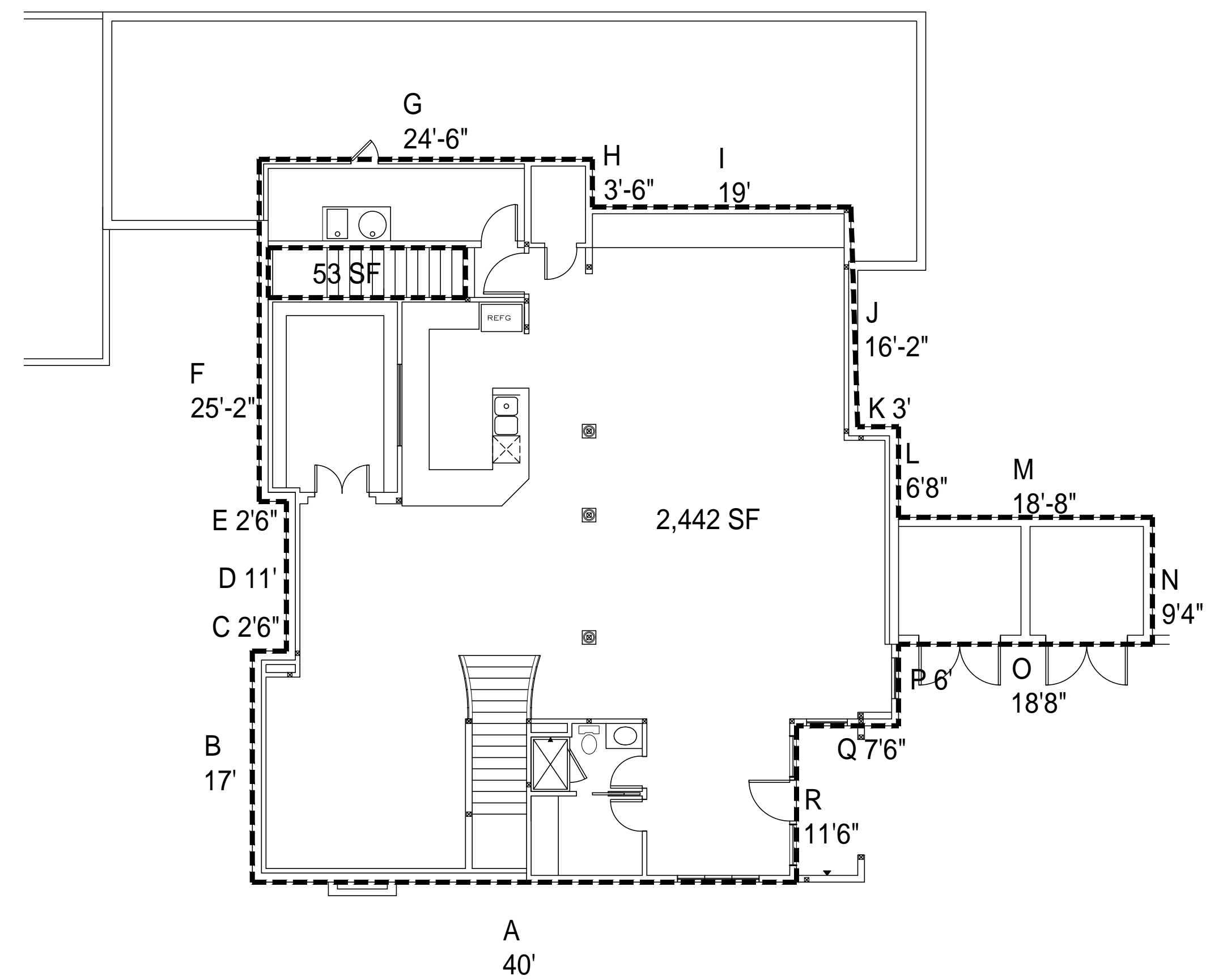
DATE:  
October 15th, 2020

SHEET TITLE:  
SITE PLAN AREA CALCULATIONS

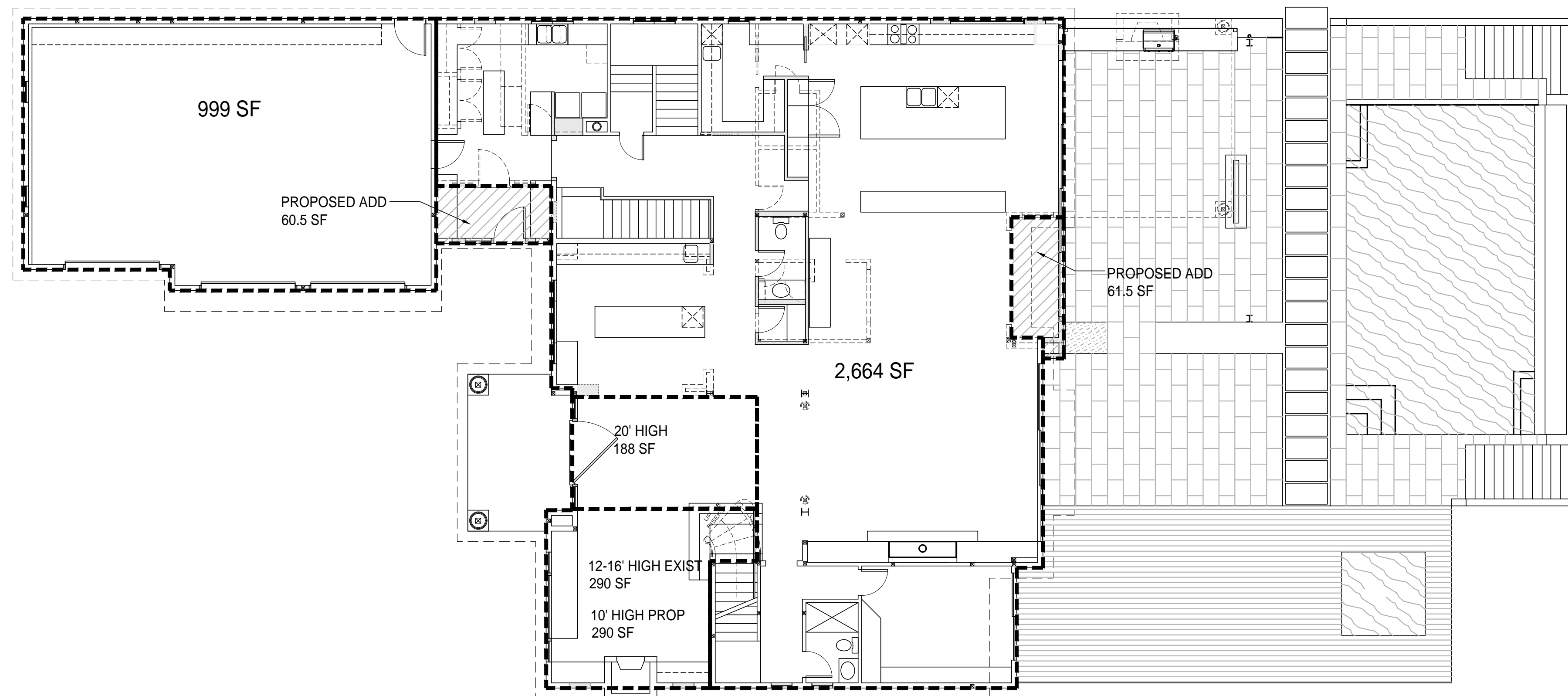
SHEET:



1 SECOND FLOOR PLAN - PROPOSED W/ DEMO  
1/8"=1'-0"



2 BASEMENT PLAN - EXISTING  
1/8"=1'-0"



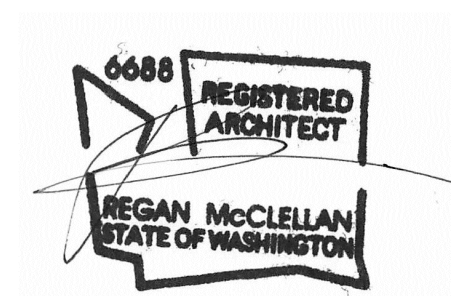
3 FIRST FLOOR PLAN - PROPOSED W/ DEMO  
1/8"=1'-0"

BASEMENT - GROSS SQUARE FEET CALC

WALL	LENGTH	COVERAGE	TOTAL
A	40	47%	18.8
B	17	100%	17
C	2.5	100%	2.5
D	11	100%	11
E	2.5	100%	2.5
F	25.17	100%	25.17
G	24.5	100%	24.5
H	3.5	100%	3.5
I	19	100%	19
J	16.17	100%	16.17
K	3	100%	3
L	6.67	100%	6.67
M	18.67	100%	18.67
N	9.33	100%	9.33
O	18.67	0%	0
P	6	0%	0
Q	7.5	0%	0
R	11.5	0%	0
	242.68		177.81

	73%
BASEMENT AREA	2,442 SF
BACK STAIR	53 SF
<b>2,389 GSF TOTAL</b>	
1750 SF EXCLUDED	
<b>639 GSF COUNTED</b>	

PERMIT DRAWINGS

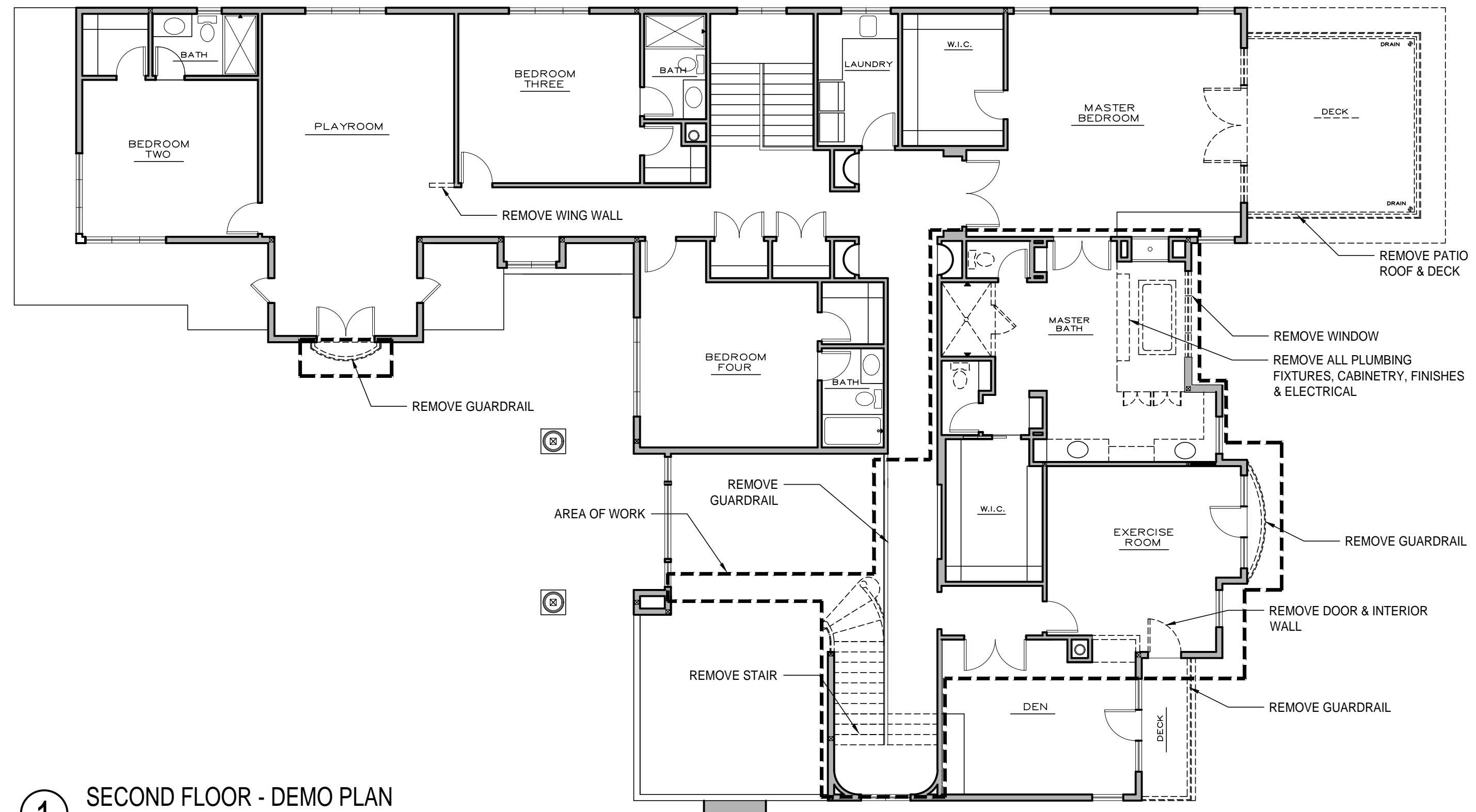


DATE:  
October 15th, 2020

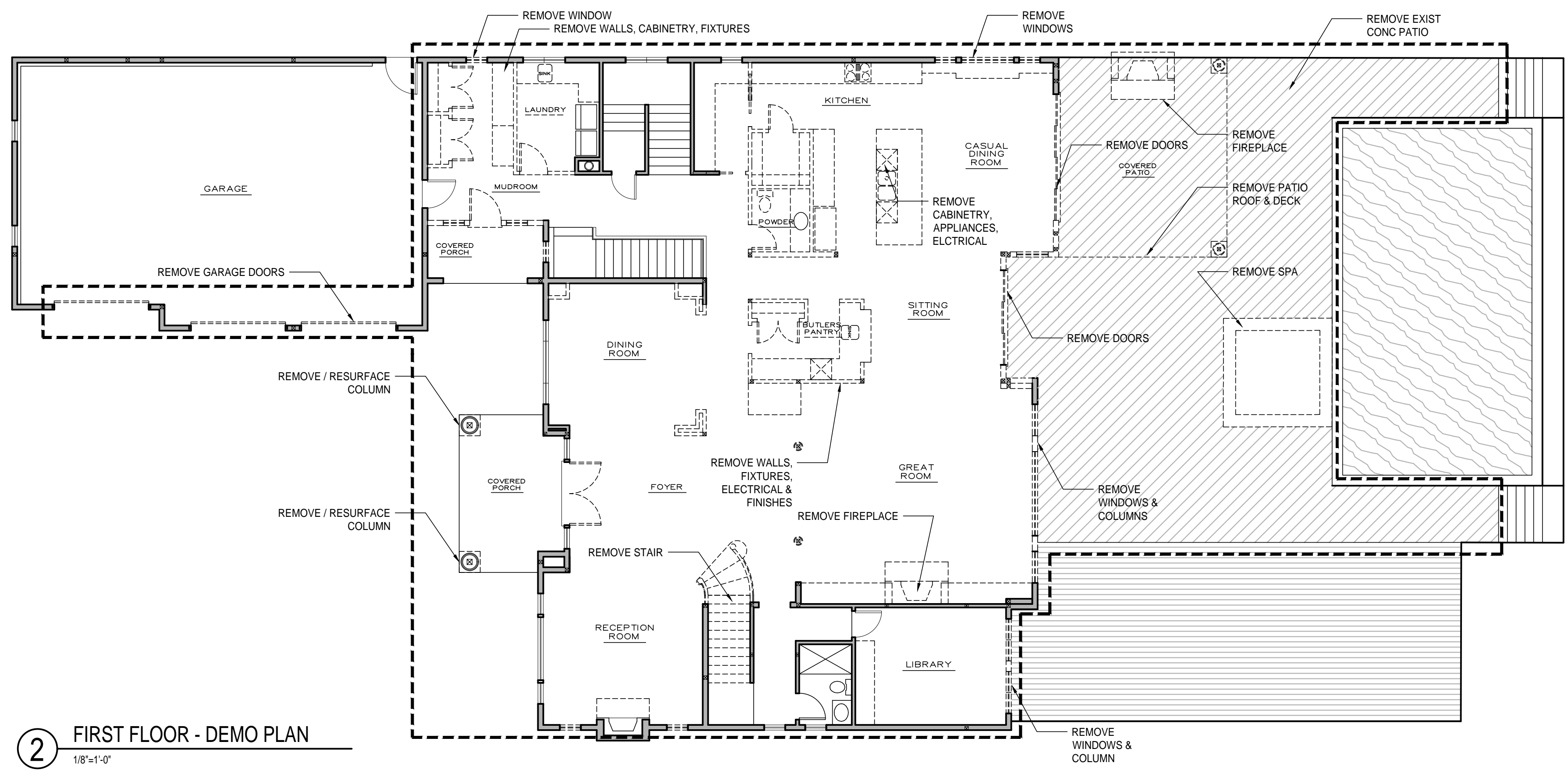
SHEET TITLE:  
FLOOR AREA CALCUCATIONS

SHEET:

A0.2



1 SECOND FLOOR - DEMO PLAN  
1/8"=1'-0"

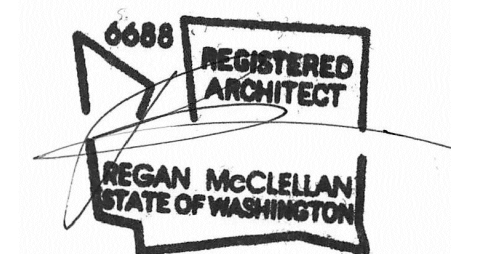


2 FIRST FLOOR - DEMO PLAN  
1/8"=1'-0"

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 02 2020-10-15 REV2

PERMIT DRAWINGS



DATE:  
October 15th, 2020

SHEET TITLE:  
DEMOLITION PLANS

SHEET:

D2.0

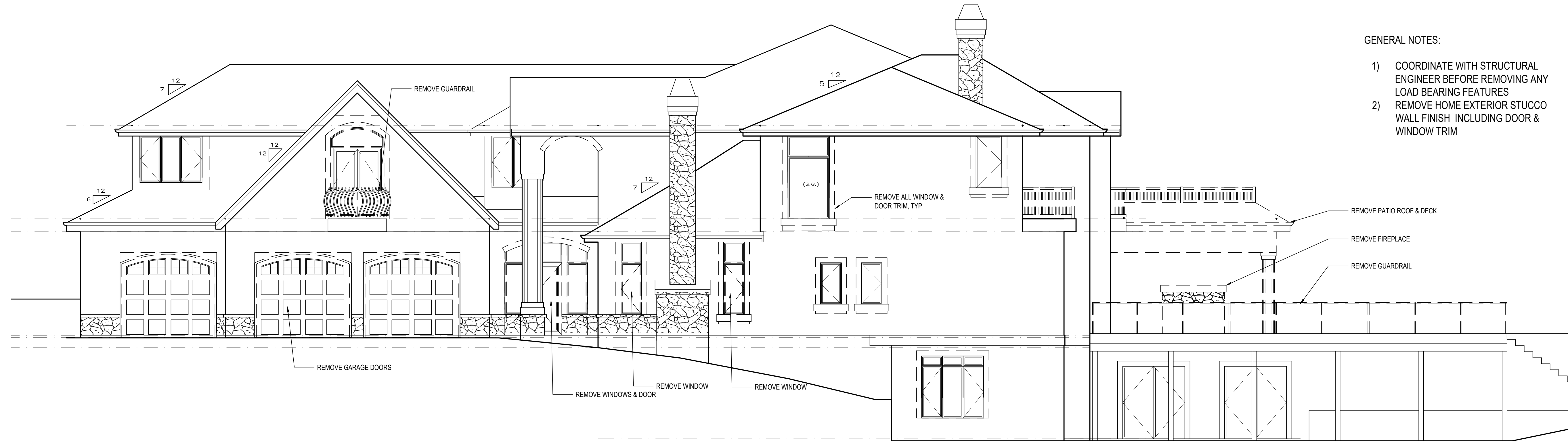
- DEMOLITION KEY:
- DEMOLISH
  - KEEP EXISTING
  - AREA OF WORK

GENERAL NOTES:

- 1) COORDINATE WITH STRUCTURAL ENGINEER BEFORE REMOVING ANY LOAD BEARING FEATURES
- 2) REMOVE HOME EXTERIOR STUCCO WALL FINISH INCLUDING DOOR & WINDOW TRIM

PROJECT:  
LOUDEN RESIDENCE  
3315 97TH AVE SE  
MERCER ISLAND, WA

ISSUE:  
2020-03-13 PERMIT SUBMISSION  
01 2020-07-03 REV1  
02 2020-10-15 REV2

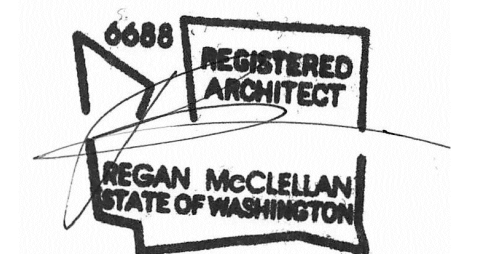


1 EAST ELEVATION  
3/16" = 1'-0"



2 WEST ELEVATION  
3/16" = 1'-0"

PERMIT DRAWINGS

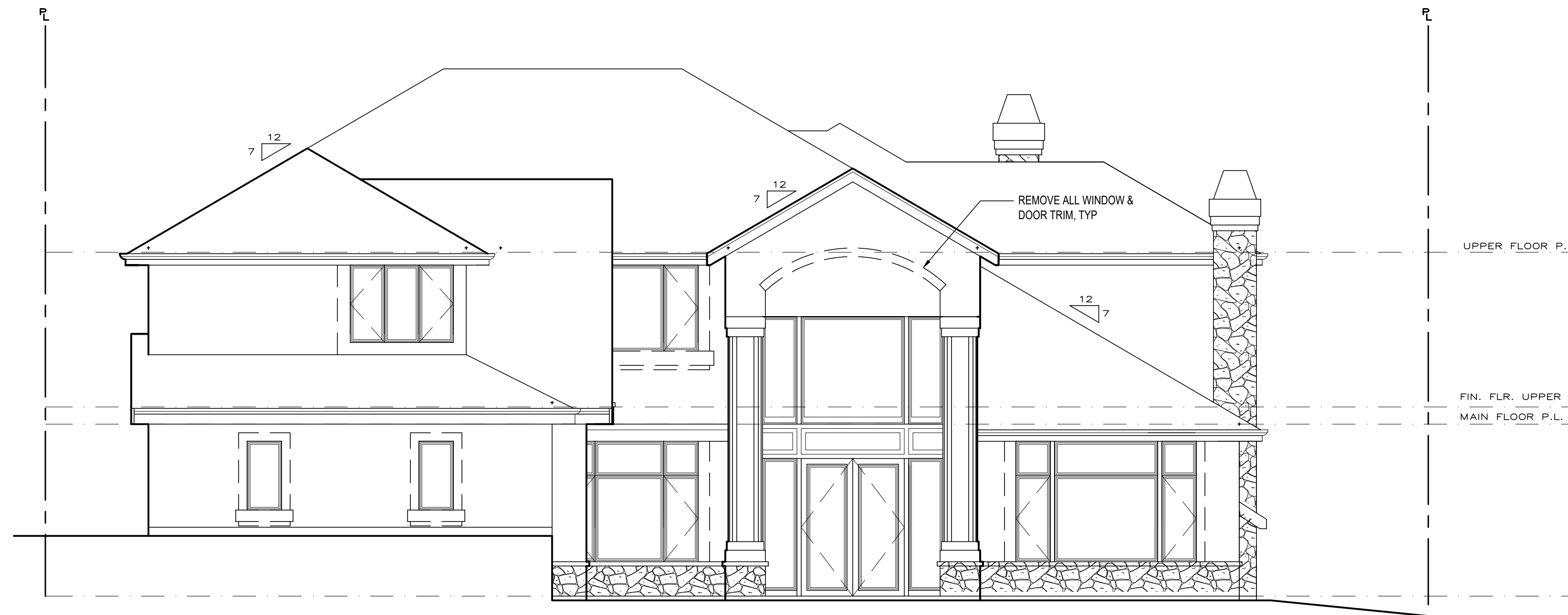


DATE:  
October 15th, 2020

SHEET TITLE:  
DEMOLITION  
BUILDING ELEVATIONS

SHEET:

D3.0



- DEMOLITION KEY:**
- DEMOLISH
  - KEEP EXISTING
  - - - AREA OF WORK

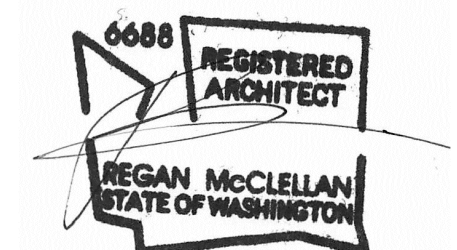
- GENERAL NOTES:**
- 1) COORDINATE WITH STRUCTURAL ENGINEER BEFORE REMOVING ANY LOAD BEARING FEATURES
  - 2) REMOVE HOME EXTERIOR STUCCO WALL FINISH INCLUDING DOOR & WINDOW TRIM

1 SOUTH ELEVATION  
3/16" = 1'-0"



2 NORTH ELEVATION  
3/16" = 1'-0"

PERMIT DRAWINGS



DATE:  
October 15th, 2020

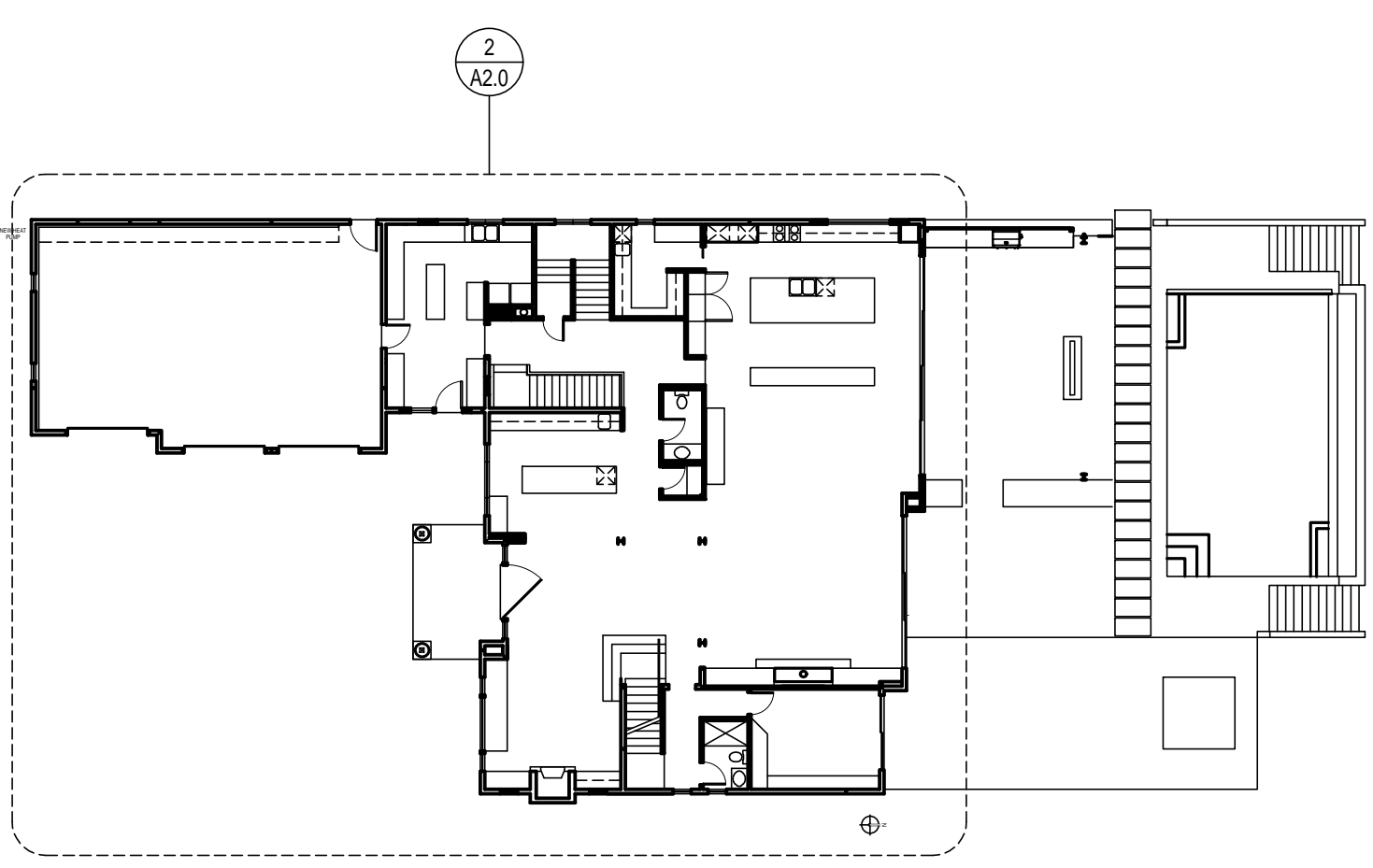
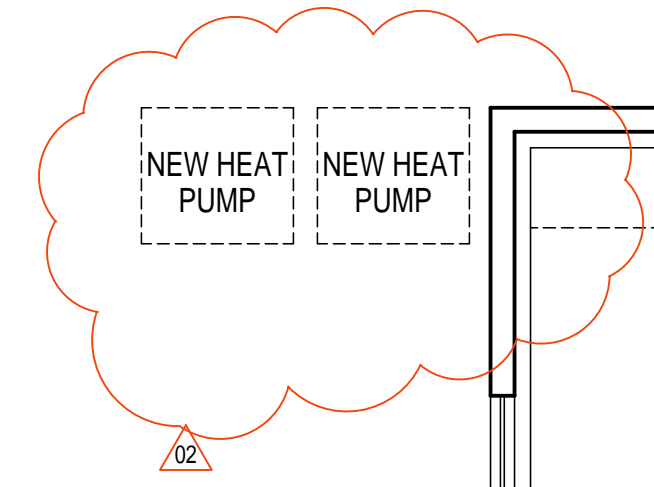
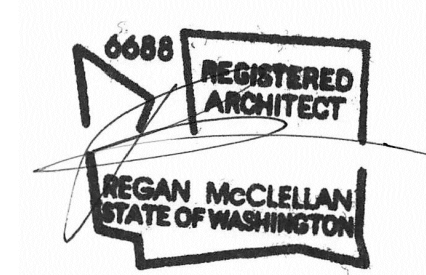
SHEET TITLE:  
EXT ELEVATIONS  
DEMOLITION

SHEET:

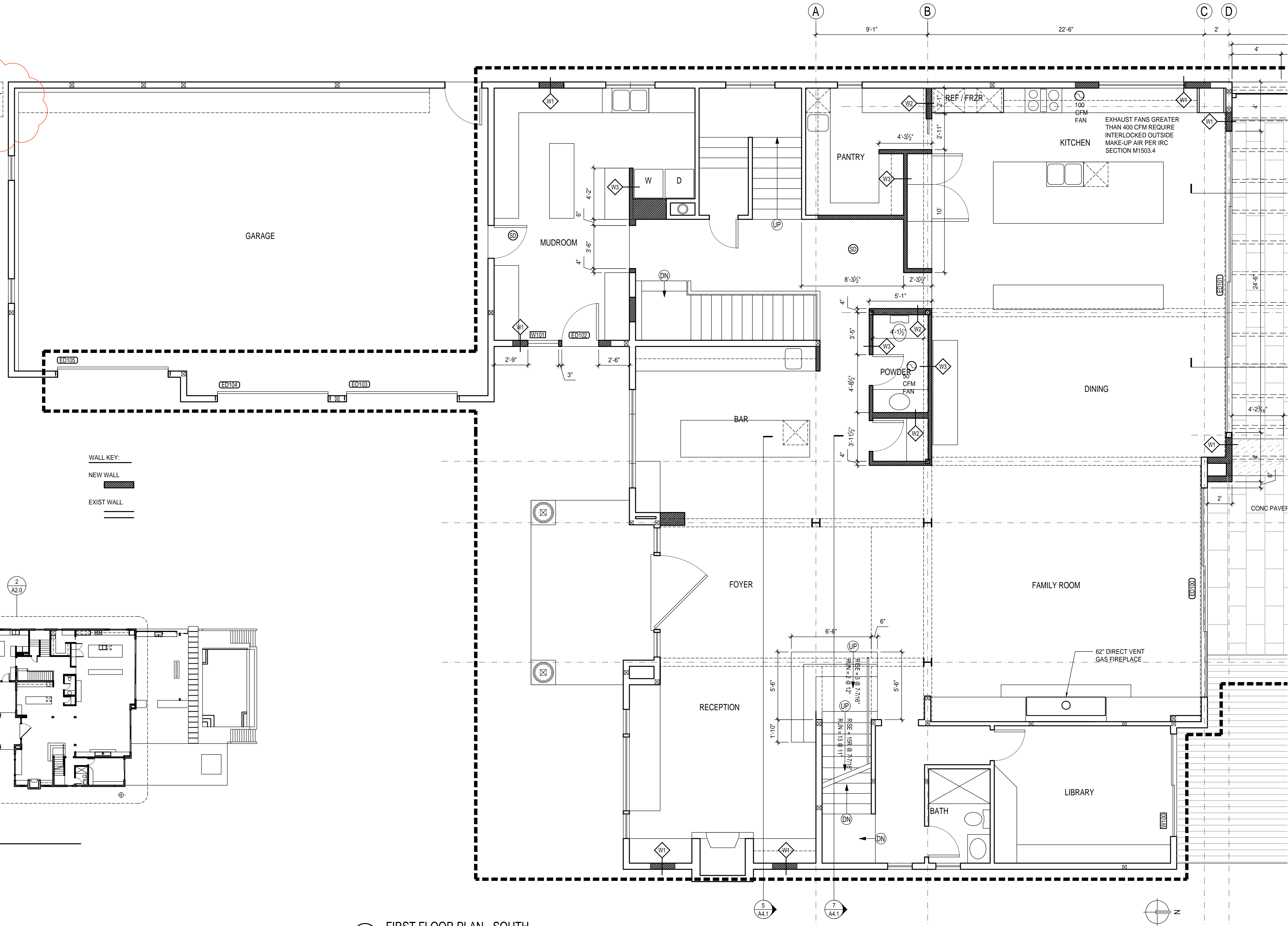
D3.1



PERMIT DRAWINGS

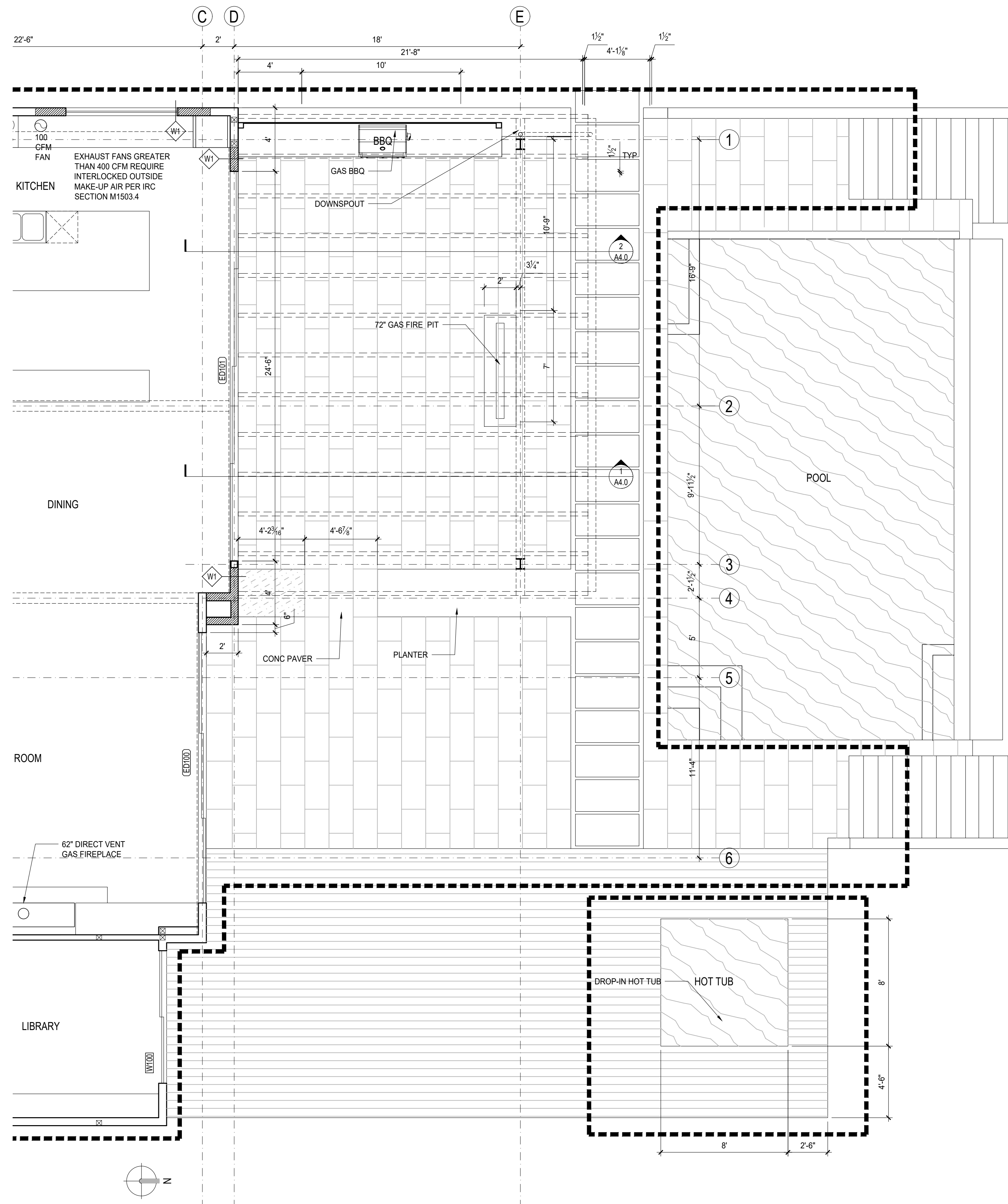


1 KEY PLAN  
NTS

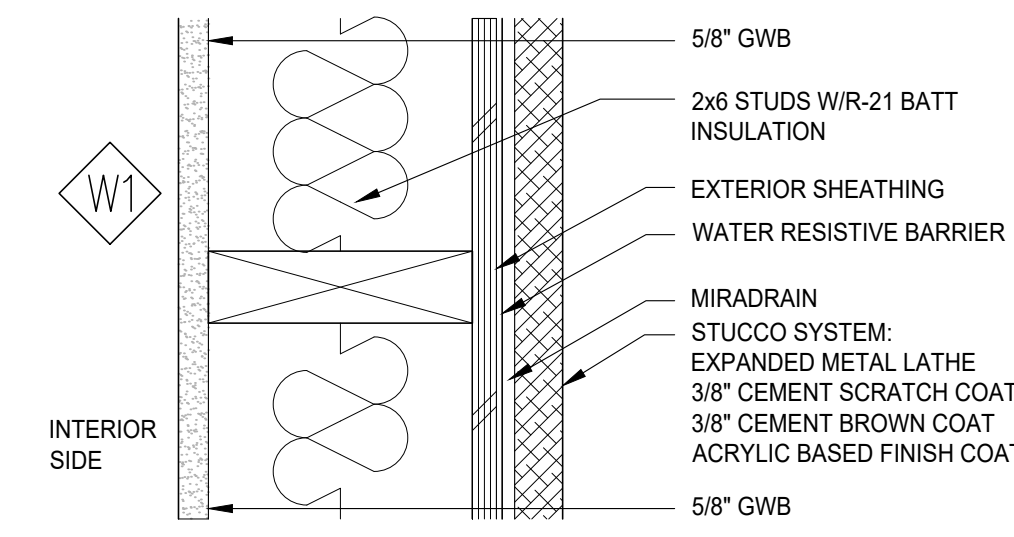


WALL KEY:  
NEW WALL  
EXIST WALL

2 FIRST FLOOR PLAN - SOUTH  
1/4"=1'-0"

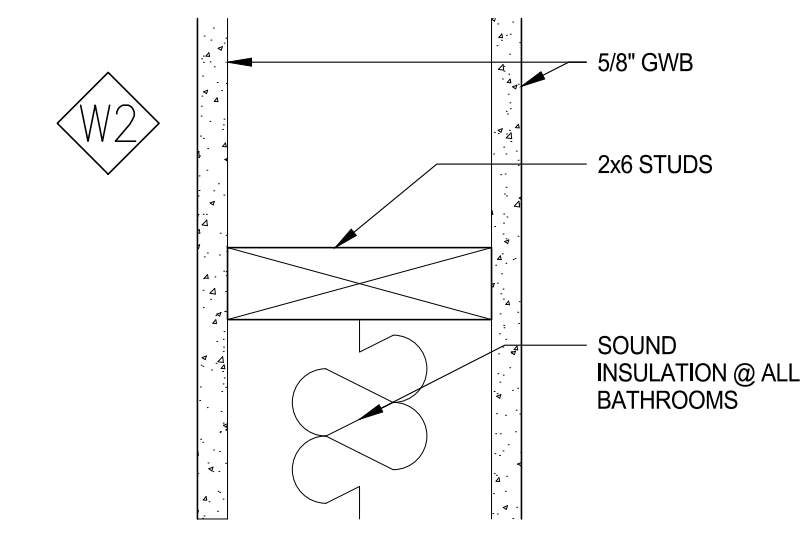


1 FIRST FLOOR PLAN - NORTH  
1/4"=1'-0"

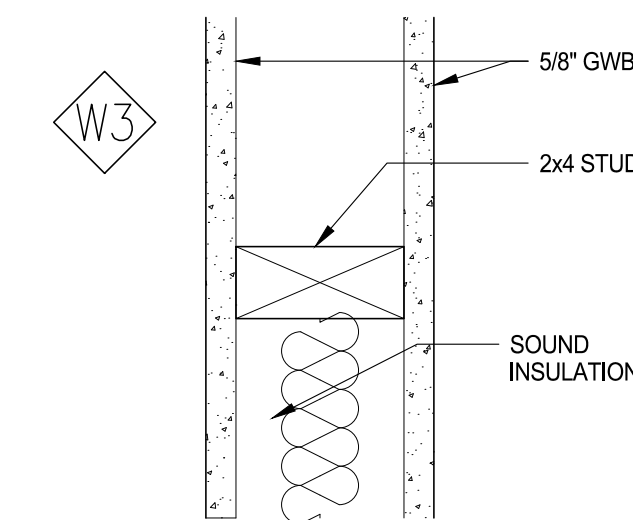


WALL ASSEMBLY: 2x6 EXT. WALL - STUCCO

NOTE:  
STUCCO SYSTEM SHALL BE INSTALLED PER REQUIREMENTS OF IRC R703.7. SPECIAL INSPECTION OF STUCCO SYSTEM IS REQUIRED.

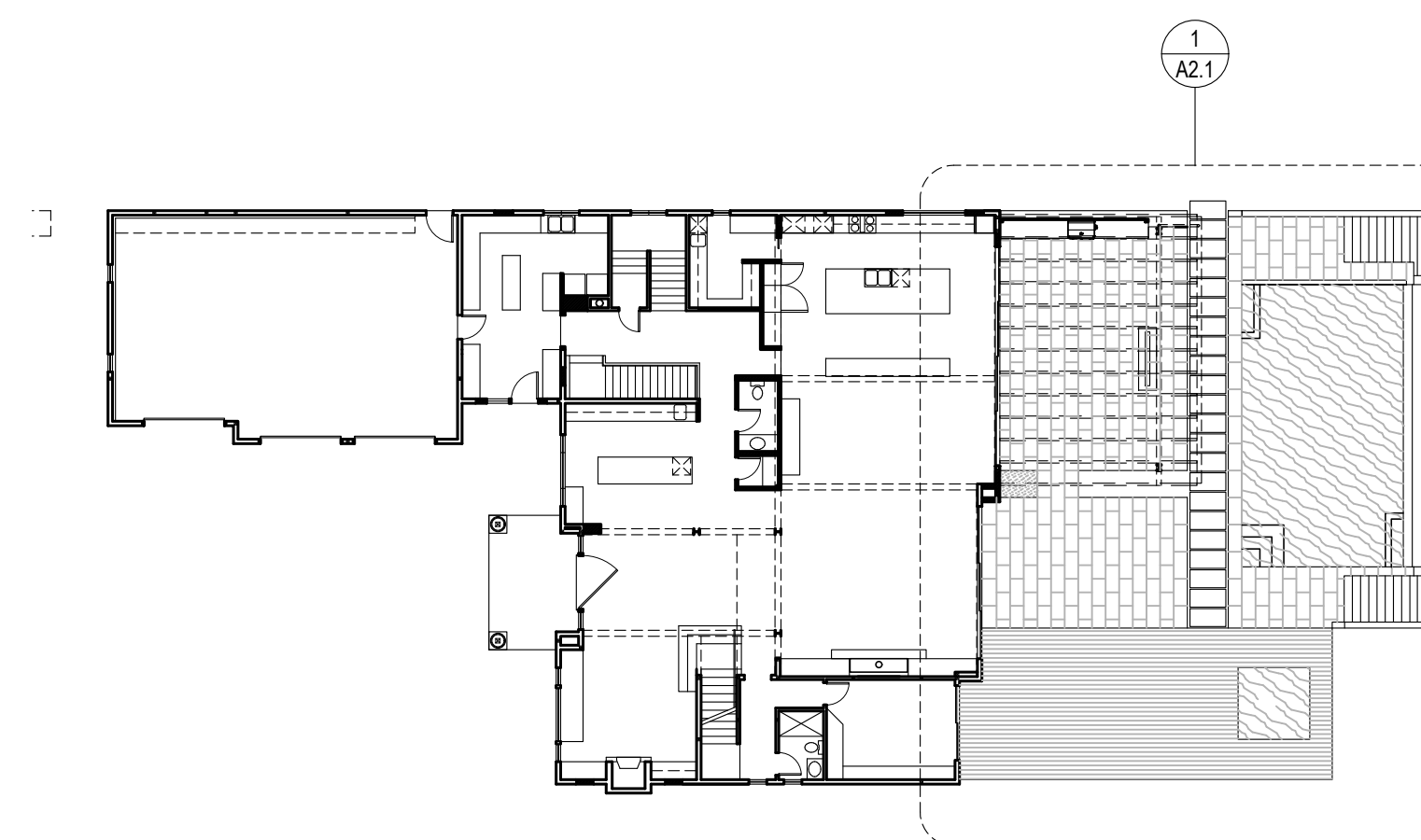


WALL ASSEMBLY: 2x6 INT. WALL  
WALL ASSEMBLY: 2x6 INT. WALL, INSUL



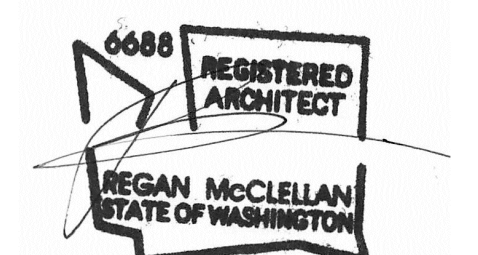
WALL ASSEMBLY: 2x4 INT. WALL  
WALL ASSEMBLY: 2x4 INT. WALL, INSUL

2 ASSEMBLIES  
3"=1'-0"



12 KEY PLAN  
NTS

PERMIT DRAWINGS



DATE:  
October 15th, 2020

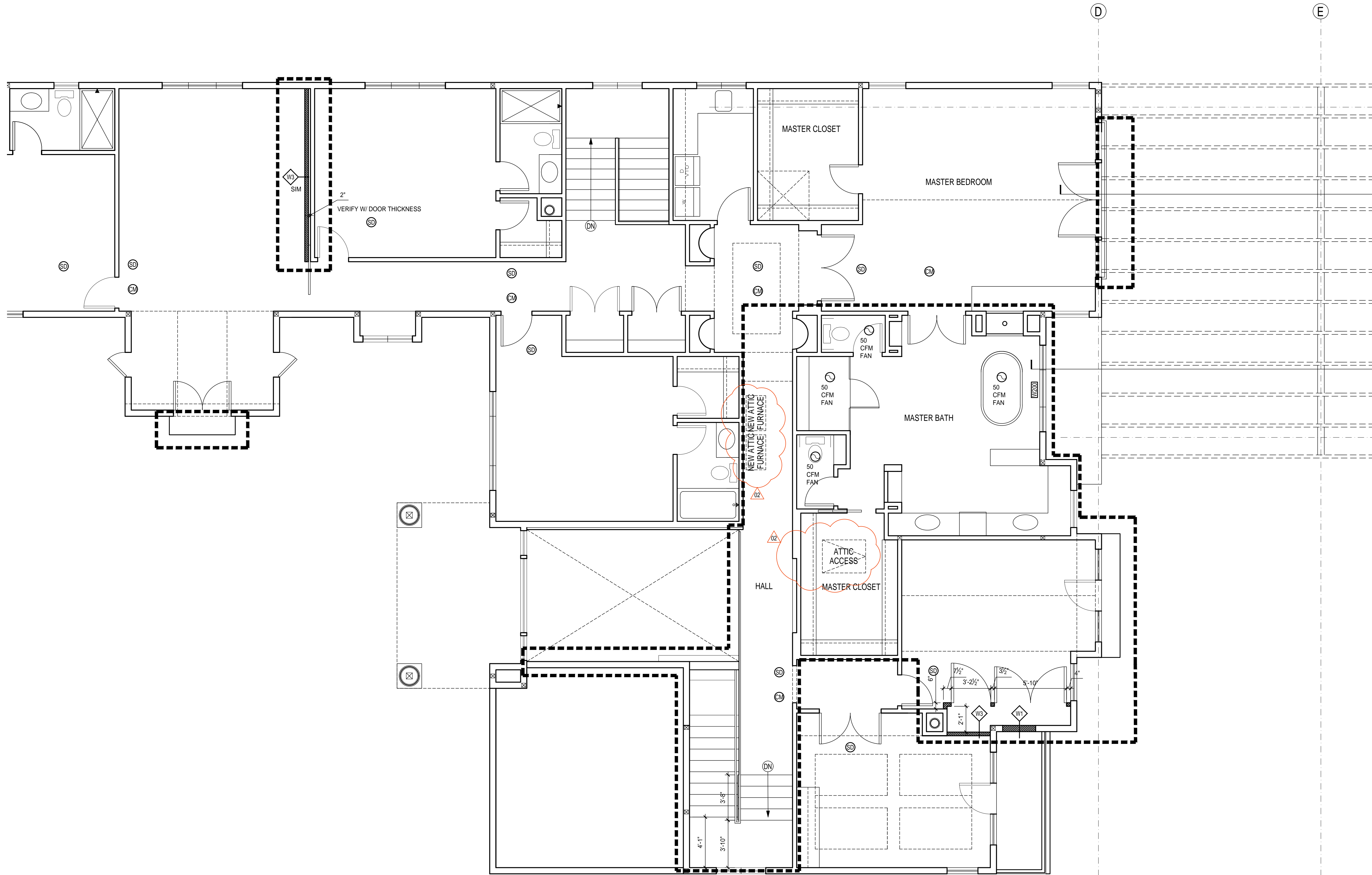
SHEET TITLE:  
FIRST FLOOR PLAN  
NORTH

SHEET:

A2.1

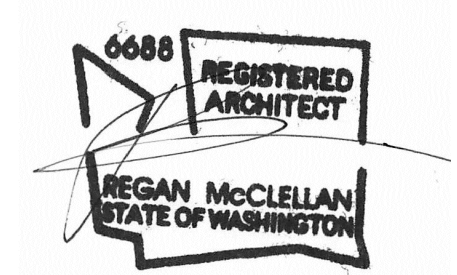
PROJECT:  
LOUDEN RESIDENCE  
3315 97TH AVE SE  
MERCER ISLAND, WA

ISSUE:  
2020-03-13 PERMIT SUBMISSION  
01 2020-07-03 REV1  
02 2020-10-15 REV2



2  
A4.1  
1  
A4.1

PERMIT DRAWINGS



DATE:  
October 15th, 2020

SHEET TITLE:  
SECOND FLOOR  
PLAN - PARTIAL

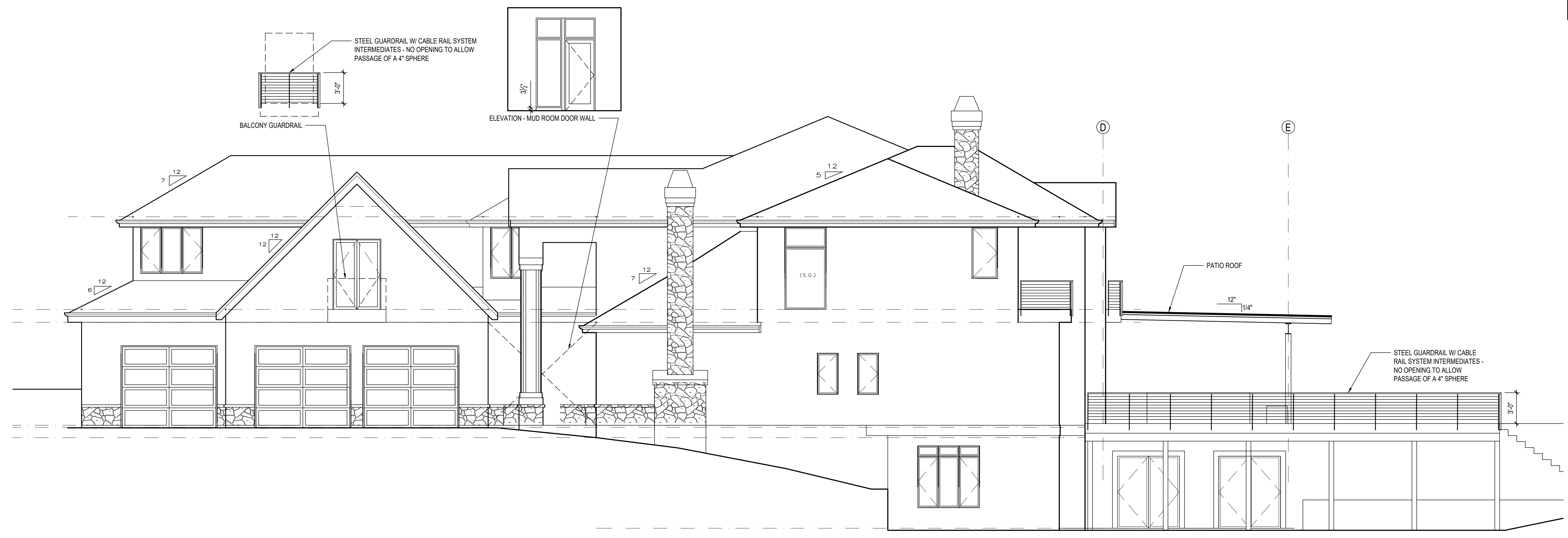
SHEET:

1 SECOND FLOOR PLAN - PARTIAL  
1/4"=1'-0"

A2.2

PROJECT:  
LOUDEN RESIDENCE  
3315 97TH AVE SE  
MERCER ISLAND, WA

ISSUE:  
2020-03-13 PERMIT SUBMISSION  
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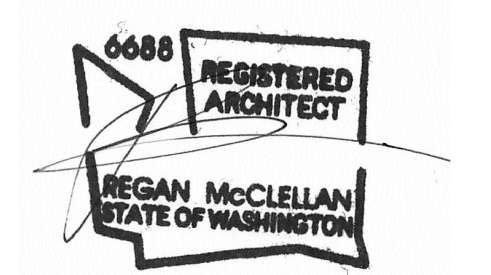


1 EAST ELEVATION  
3/16" = 1'-0"



2 WEST ELEVATION  
3/16" = 1'-0"

PERMIT DRAWINGS



DATE:  
October 15th, 2020

SHEET TITLE:  
BUILDING ELEVATIONS

SHEET:

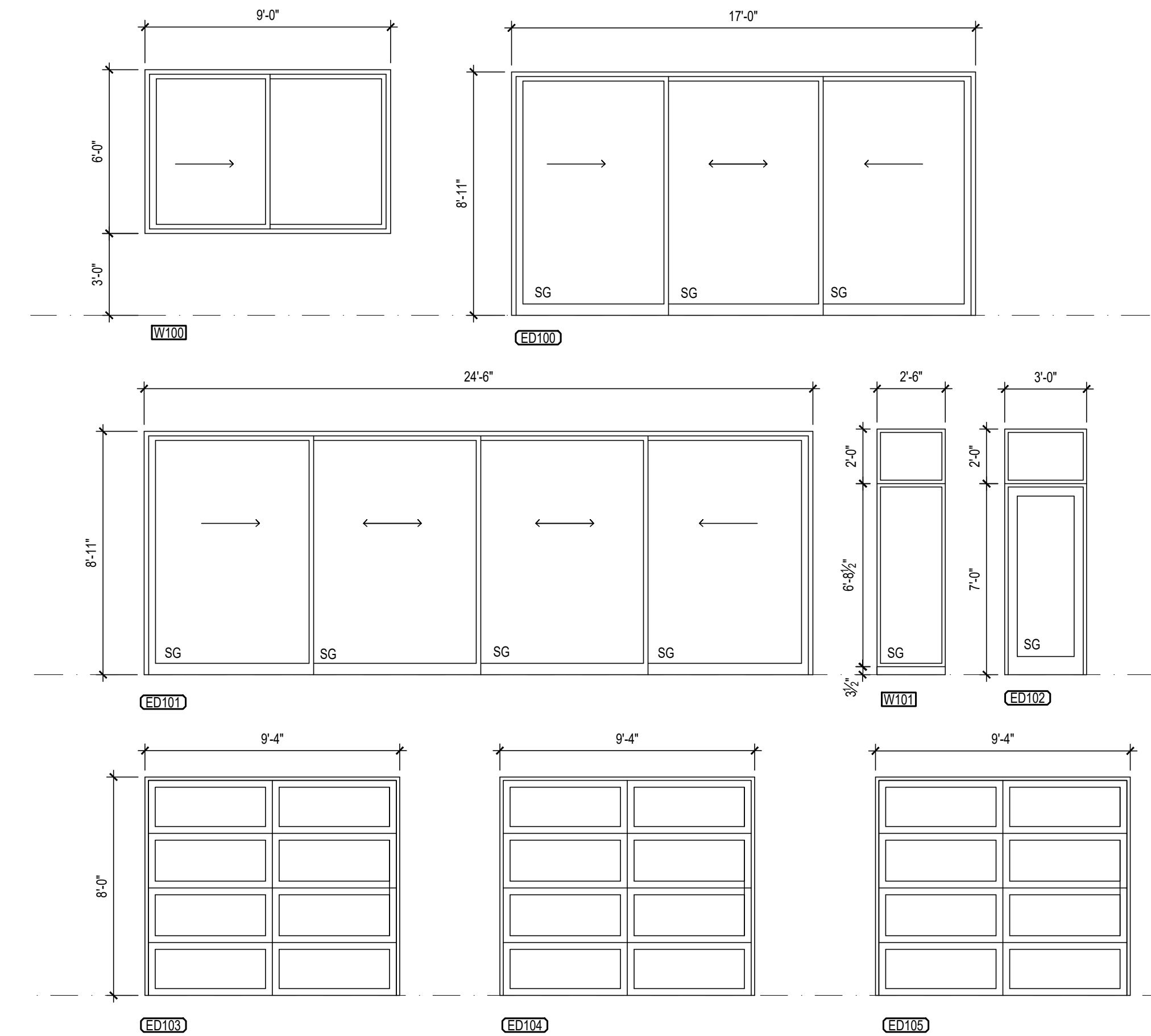
A3.0



1 SOUTH ELEVATION  
3/16" = 1'-0"

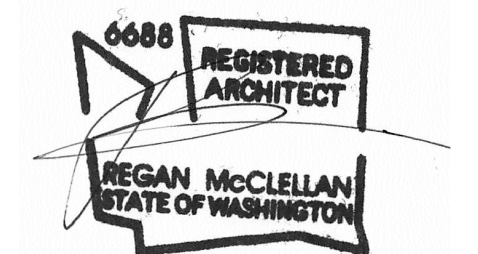


2 NORTH ELEVATION  
3/16" = 1'-0"



3 OPENING SCHEDULE  
1/4" = 1'-0"

PERMIT DRAWINGS



DATE:  
October 15th, 2020

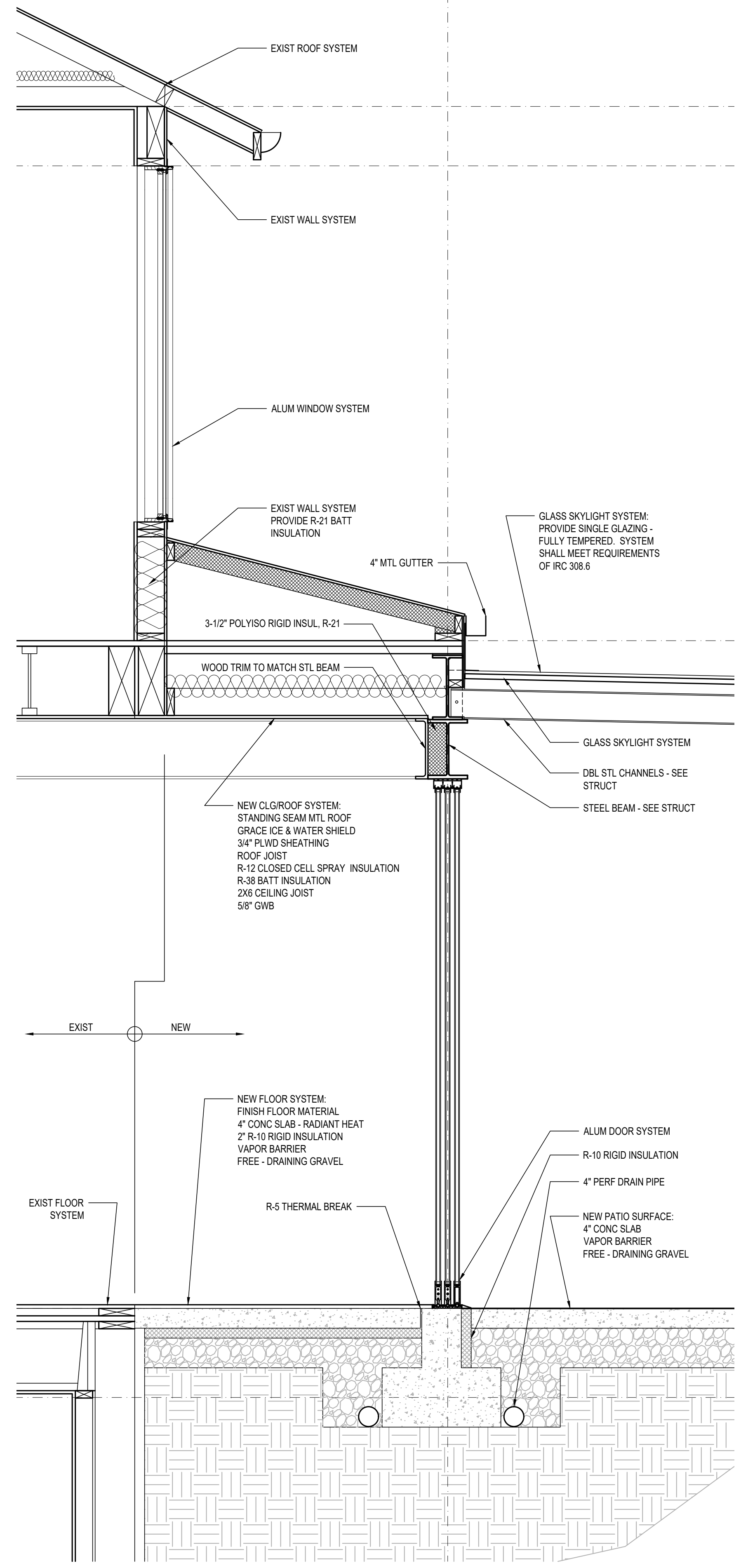
SHEET TITLE:  
BUILDING ELEVATIONS  
OPENING SCHEDULE

SHEET:

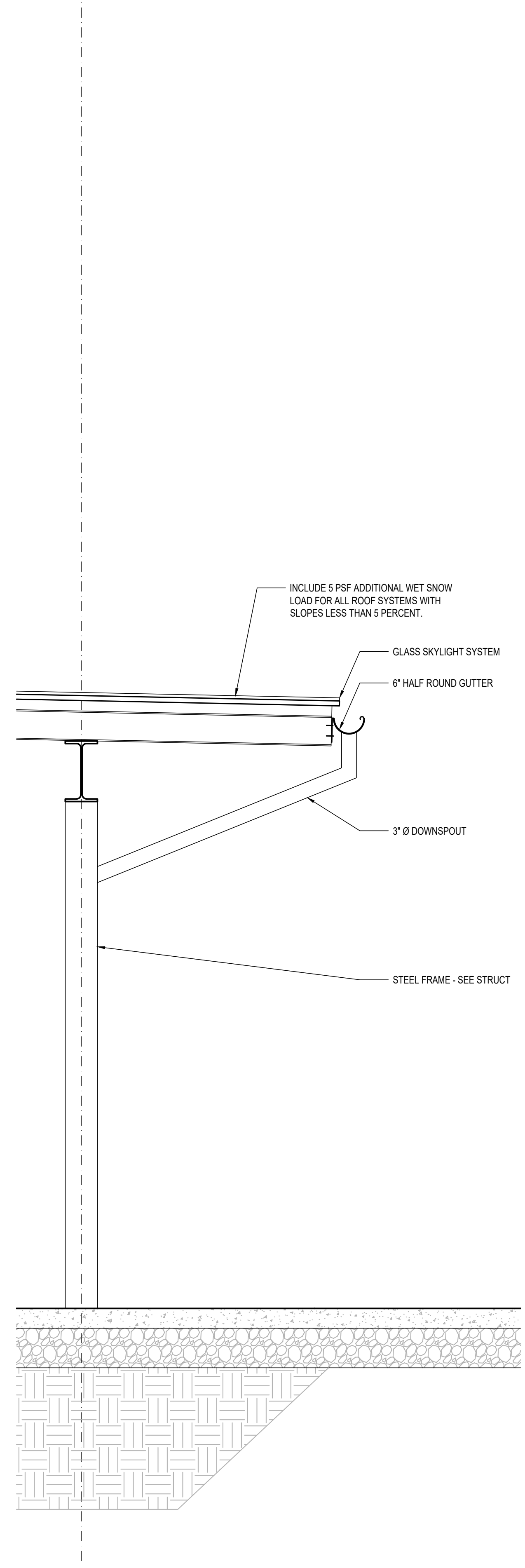
A3.1

ISSUE:

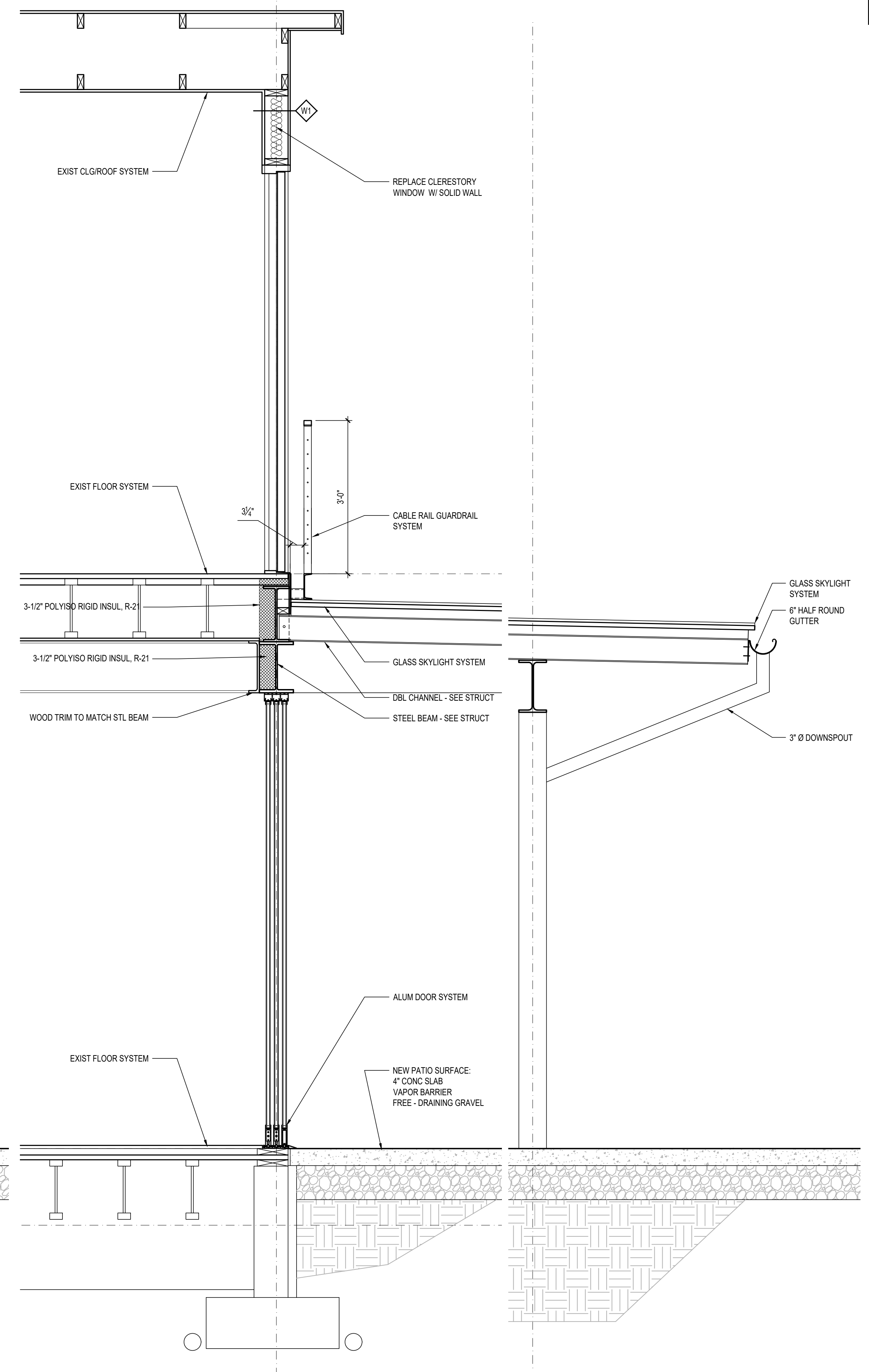
2020-03-13	PERMIT SUBMISSION
01	2020-07-03 REV1
02	2020-10-15 REV2



**1** WALL SECTION  
3/4" = 1'-0"



**2** WALL SECTION  
3/4" = 1'-0"



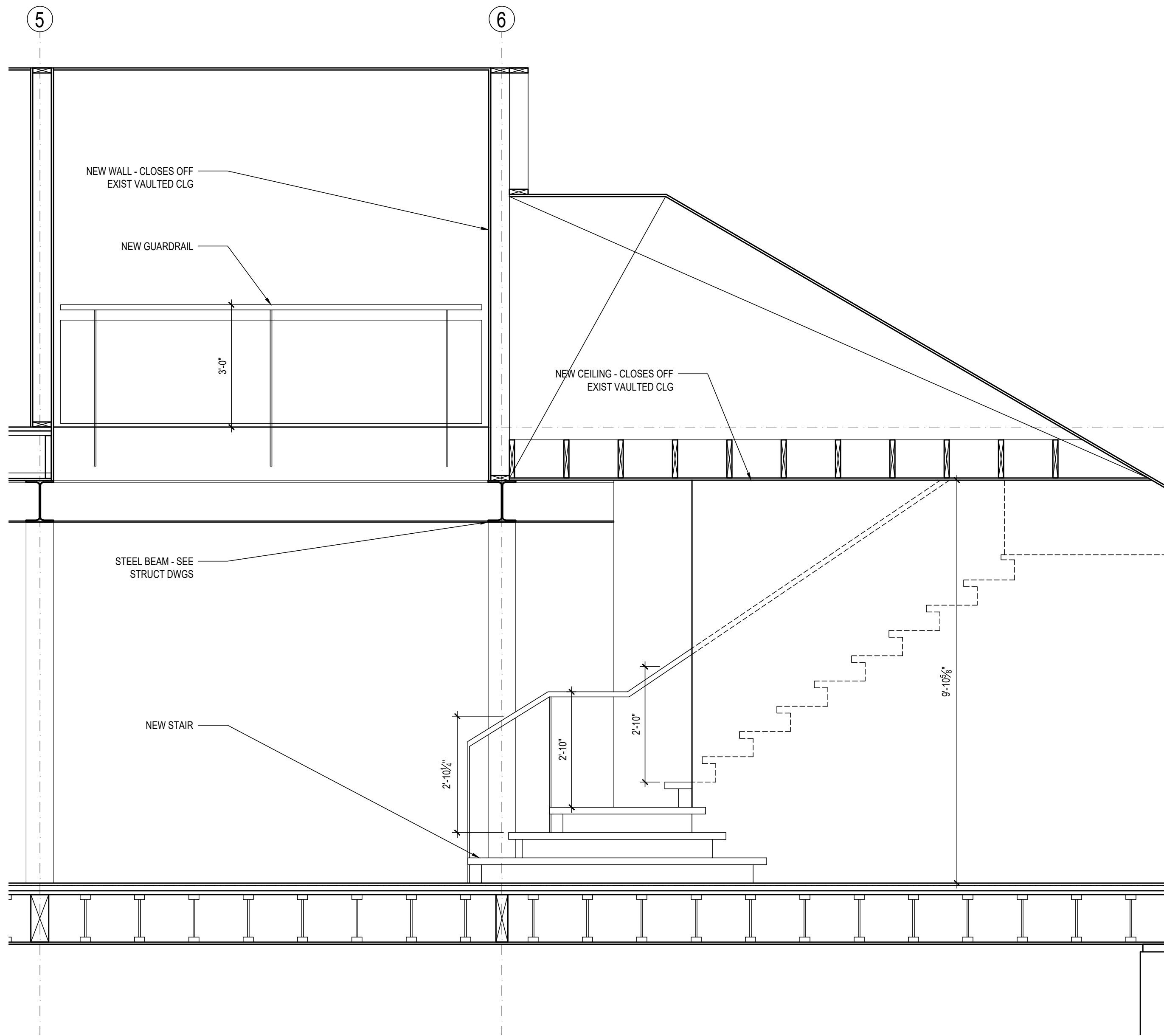
PERMIT DRAWINGS

DATE:  
October 15th, 2020

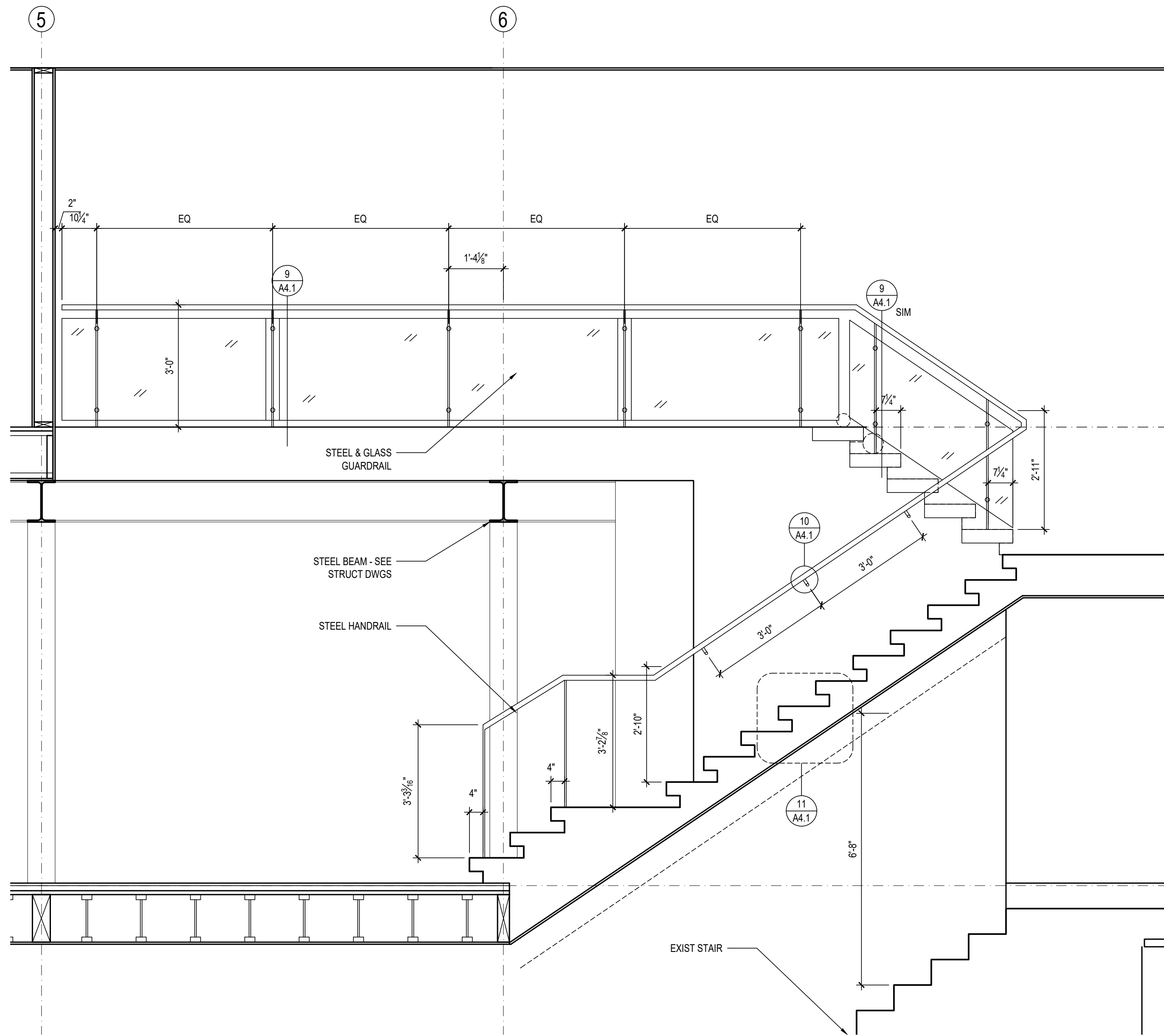
SHEET TITLE:  
WALL SECTIONS

SHEET:

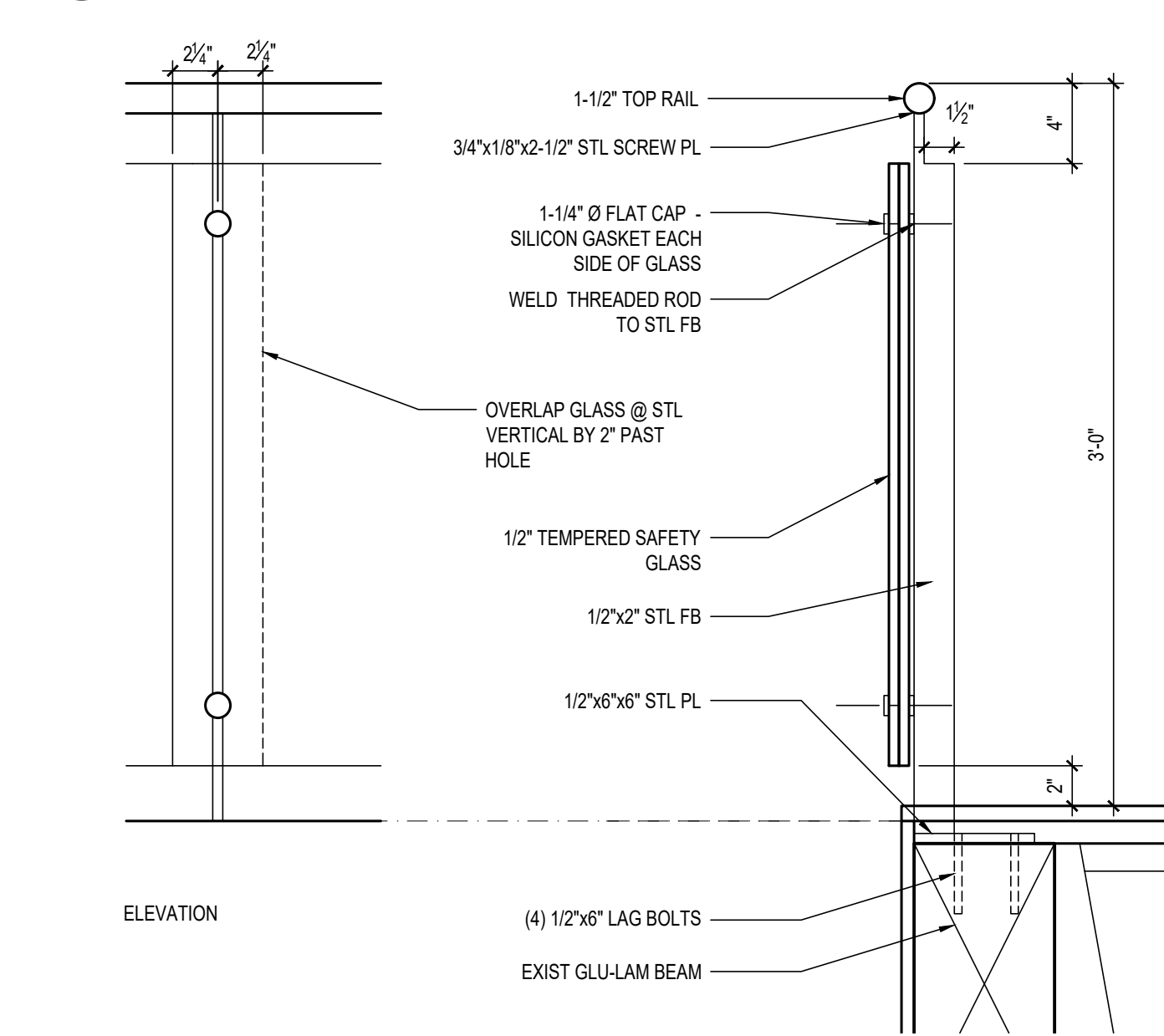
**A4.0**



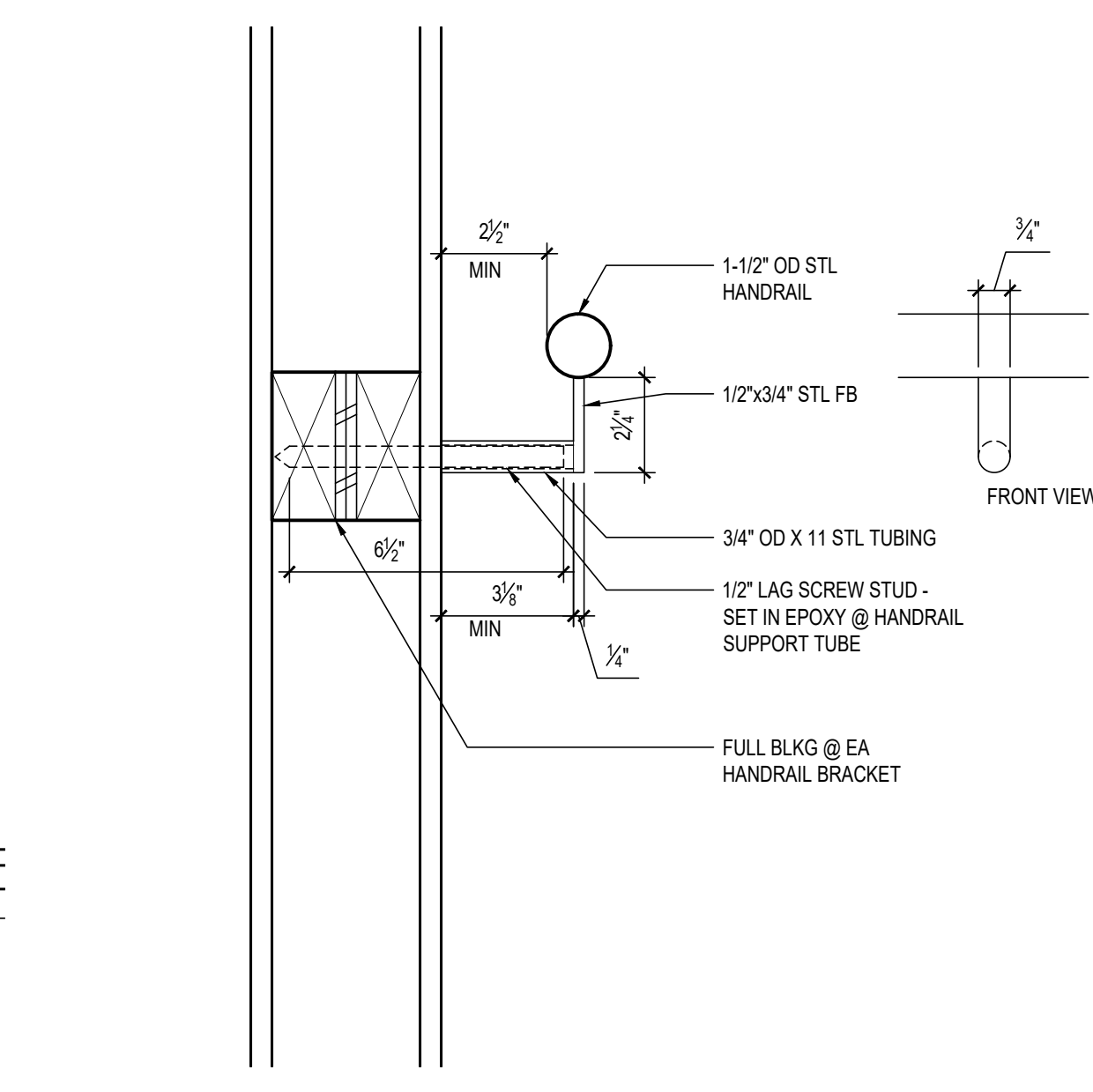
5 BLDG SECTION  
1/2" = 1'-0"



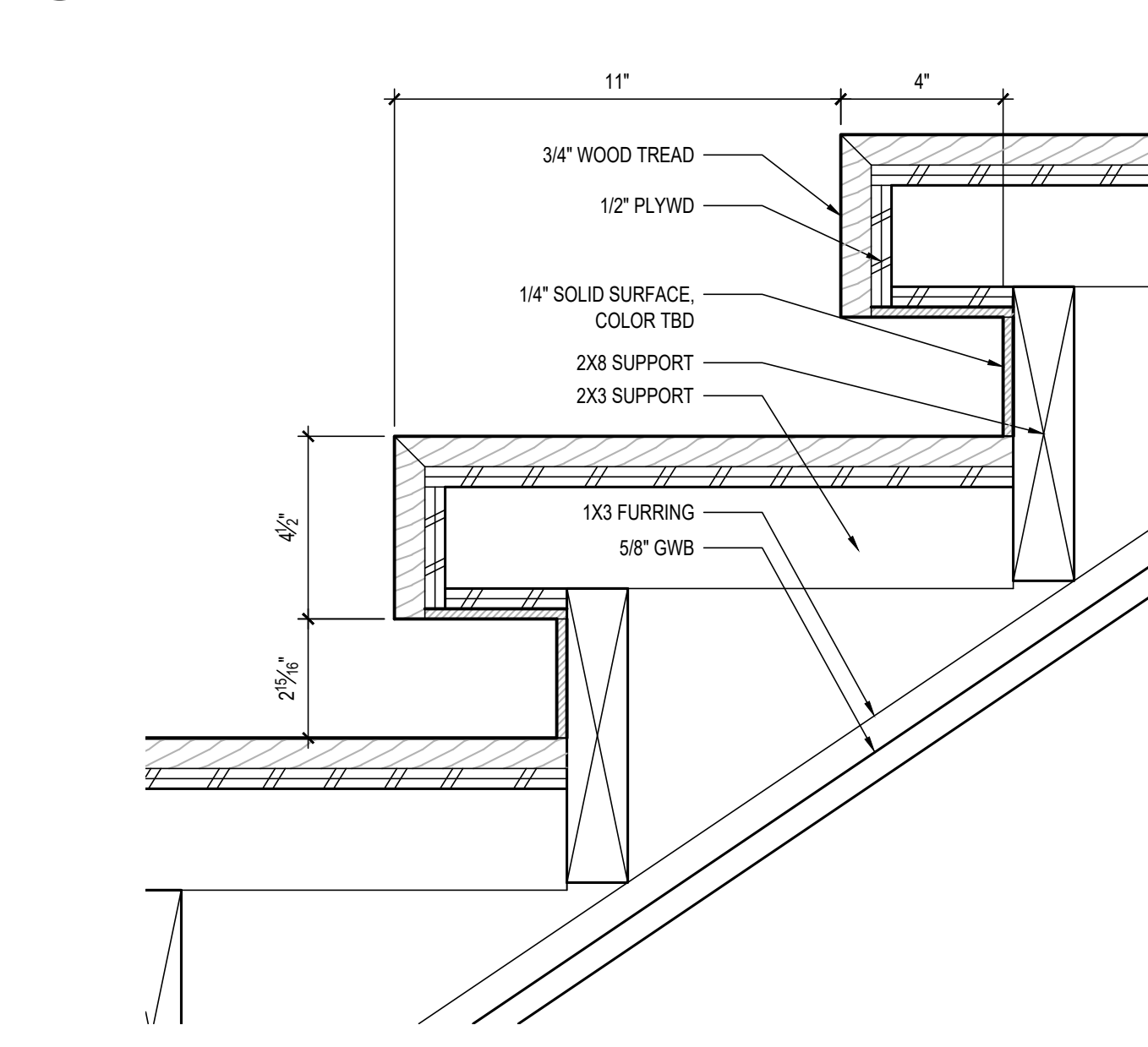
7 STAIR SECTION  
1/2" = 1'-0"



9 GLASS GUARDRAIL  
1-1/2" = 1'-0"



10 HANDRAIL BRACKET  
3" = 1'-0"



11 STAIR SECTION  
3" = 1'-0"

PERMIT DRAWINGS

DATE:  
October 15th, 2020

SHEET TITLE:  
BLDG SECTION & DETAILS

SHEET:

A4.1

- AB - ANCHOR BOLT
- ADVL - ADDITIONAL
- ALT - ALTERNATE
- ARCH - ARCHITECTURAL
- BEH - BELOW
- BLDG - BUILDING
- BLK (G) - BLOCK(ING)
- BM(S) - BEAM(S)
- BO xxx - BOTTOM OF xxx
- BT - BOTTOM
- BP - BASE PLATE
- BTWN - BETWEEN
- CIP - CAST IN PLACE
- CJP - COMPLETE JOINT PENETRATION
- CL - CENTERLINE
- CLR - CLEAR(ANCE)
- CMU - CONCRETE MASONRY UNIT
- COL - COLUMN
- CONC - CONCRETE
- CONN - CONNECTION
- CONSTR - CONSTRUCTION
- CONT - CONTINUOUS
- CONTR - CONTRACTOR
- COORD - COORDINATE
- CP - COMPLETE PENETRATION
- CTR - CENTER(ED)
- D - DEPTH or DEEP
- DBL - DOUBLE
- DEG - DEGREE
- DEMO - DEMOLITION
- DET - DETAIL
- DIA - DIAMETER
- DIAG - DIAGONAL
- DM - DIMENSION
- DIST - DISTANCE
- DS - DOUBLE STUDS
- DWG - DRAWING
- EA - EACH
- EJ - EACH FACE
- EJT - EXPANSION JOINT
- EL - ELEVATION
- ELC - ELECTRICAL
- EMBED - EMBEDMENT
- EN - END NAIL
- EOSL - EDGE OF SLAB
- EQ - EQUAL
- EQUIP - EQUIPMENT
- EW - EACH WAY
- EXIST - EXISTING
- EXP - EXPANSION
- EXT - EXTERIOR
- FDN - FOUNDATION
- FIN - FINISH(ED)
- FLG - FLANGE
- FLR - FLOOR
- FO xxx - FACE OF xxx
- FOC - FACE OF CONCRETE
- FOF - FACE OF FINISH
- FOS - FACE OF STEEL
- FS - FAR SIDE
- FT - FOOT or FEET
- FTG - FOOTING
- GA - GAGE
- GALV - GALVANIZED
- GEN - GENERAL
- GR - GRADE
- GWB - GYPSUM WALLBOARD
- H - HIGH
- HD - HOLD DOWN
- HDR - HEADER
- HGR - HANGER
- HRS - HORIZONTAL
- HSS - HOLLOW STRUCTURAL SECTIONS
- HT - HEIGHT
- HVAC - HEATING, VENTILATING/  
AIR CONDITIONING
- IN - INSIDE
- INCH - INCHES
- INFO - INFORMATION
- INSUL - INSULATION
- INST - JOIST
- JT - JOINT
- L - LENGTH
- LLH - LONG LEG HORIZONTAL
- LLV - LONG LEG VERTICAL
- LOC - LOCATION
- LT - LIGHT
- LSH - LONG SLOTTED HOLE
- MACH - MACHINE
- MECH - MECHANICAL
- MFR - MANUFACTURE(R/D)
- MIN - MINIMUM
- MISC - MISCELLANEOUS
- NORMAL - NORMAL
- NO. - NUMBER
- NS - NEAR SIDE
- NTO - NOT TO SCALE
- O/C - ON CENTER
- OD - OUTSIDE DIAMETER
- OF - OUTSIDE FACE
- OH - OPPOSITE HAND
- OPNG - OPENING
- OPP - OPPOSITE
- OVS - OVERSIZED
- PAF - POWDER ACTUATED  
FASTENER
- PEF - PANEL EDGE FRAMING
- PP - PARTIAL PENETRATION
- PL - PLATE
- PLCS - PLACES
- PLY - PLYWOOD
- PSF - POUNDS PER SQUARE  
FOOT
- PSI - POUNDS PER SQUARE  
INCH
- RAD or R - RADIUS
- REF - REFERENCE
- REINIF - REINFORCING
- REQD - REQUIRED
- RO - ROUGH OPENING
- SCHED - SCHEDULE
- SECT - SECTION
- SHT - SHEET
- SHTG - SHEATHING
- SIM - SIMILAR
- SLOPE - SLOPE
- SPEC - SPECIFICATION
- SPCS - SPACES
- SQ - SQUARE
- SSH - SHORT SLOTTED HOLE
- SSLT - STAINLESS STEEL
- STD - STANDARD
- STIF - STIFFENER
- STL - STEEL
- STRUCT - STRUCTURAL
- SYM - SYMMETRICAL
- THK - THICK(NESS)
- TOP OF CONCRETE
- TOP OF FOOTING
- TOGB - TOP OF GRADE BEAM
- TOS - TOP OF STEEL
- TOSL - TOP OF SLAB
- TPC - TOP PLATE  
CONNECTION
- TYP - TYPICAL
- T&B - TOP AND BOTTOM
- UNO - UNLESS OTHERWISE  
NOTED
- VERT - VERTICAL
- W - WIDTH
- WT - WEIGHT
- WWF - WELDED WIRE FABRIC
- WP - WORK POINT
- W/ - WITH

SPECIAL INSPECTION

1. SPECIAL INSPECTIONS. OBSERVATIONS ARE A SUPPLEMENT TO THE CITY OF MERCER ISLAND INSPECTIONS REQUIRED BY THE INTERNATIONAL BUILDING CODE (IBC)

AAR TESTING AND INSPECTION, INC (JERRY A. ANDERSON, 425-881-5812) SHALL BE RETAINED FOR THE FOLLOWING SPECIAL INSPECTIONS:

SPECIAL INSPECTIONS SHALL NOT BE REQUIRED WHEN THE WORK IS DONE ON THE PREMISES OF A FABRICATOR WITH AN AISC QUALITY CONTROL PROGRAM AND IS APPROVED BY THE BUILDING OFFICIAL TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION.

PILE DRIVING  
ALL PILE DRIVING SHALL BE CONTINUOUSLY INSPECTED BY A GEOTECHNICAL ENGINEER

SOILS  
ALL SOILS SHALL BE PERIODICALLY INSPECTED TO VERIFY ASSUMED SOIL VALUES ARE APPLICABLE.

ADHESIVE ANCHORS, EPOXY GROUT  
CONTINUOUS INSPECTION OF INSTALLATION OF ALL ADHESIVE ANCHORS AND EPOXY GROUT

STRUCTURAL STEEL  
PERFORM QA AND QC INSPECTIONS LISTED IN STRUCTURAL STEEL INSPECTION SCHEDULE BELOW PER AISC 360. IF FABRICATOR HAS AN ACCREDITED QC PROGRAM IN HOUSE THE SHOP FABRICATION INSPECTIONS MAY BE CONDUCTED UNDER THAT PROGRAM. ALL FIELD WELDING SHALL BE INSPECTED BY A SPECIAL INSPECTOR. ALL CJP WELDS SHALL BE ULTRASONICALLY TESTED.

2. THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING OFFICIAL SHALL BE FURNISHED COPIES OF ALL TEST RESULTS AND REPORTS. REPORTS SHALL INDICATE THAT THE WORK INSPECTED WAS OR WAS NOT IN COMPLIANCE WITH APPROVED CONSTRUCTION DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF THEY ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD AND TO THE BUILDING INSPECTOR PRIOR TO THE COMPLETION OF THAT PHASE OF THE WORK. A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS AND TEST AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS OR TESTS, SHALL BE SUBMITTED AT A POINT IN TIME AGREED UPON PRIOR TO THE START OF WORK BY THE OWNER TO THE BUILDING INSPECTOR.

3. IN ADDITION TO THE SUBMITTAL OF REPORTS, THE FOLLOWING MUST BE SUBMITTED TO THE BUILDING INSPECTOR:  
CERTIFICATES OF COMPLIANCE FOR THE FABRICATION OF STRUCTURAL LOAD BEARING OR LATERAL LOAD-RESISTING MEMBERS OR ASSEMBLIES ON THE PREMISES OF A REGISTERED AND APPROVED FABRICATOR.

GENERAL NOTES

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, AND THE CODES, RULES AND REGULATIONS OF THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE AS ADOPTED BY THE CITY OF KIRKLAND, WA.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES. THIS INCLUDES CONNECTION HARDWARE AND FASTENERS THAT MAY INTERFERE WITH FINISHES OR OTHER ADJACENT SURFACES.
3. IF ANY ERRORS OR OMISSIONS APPEAR IN THESE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS; THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OR ARCHITECT IN WRITING OF SUCH OMISSION OR ERROR BEFORE PROCEEDING WITH THE WORK.
4. NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NOTES AND DETAILS ON DRAWINGS AND THESE GENERAL NOTES AND TYPICAL DETAILS ARE IN CONFLICT, THE MOST STRINGENT SHALL APPLY. CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED AS SHOWN FOR SIMILAR WORK, SUBJECT TO REVIEW BY THE ARCHITECT AND STRUCTURAL ENGINEER.
5. MANUFACTURED MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO THEIR USE. ALL REQUIREMENTS OF THOSE APPROVALS SHALL BE FOLLOWED.
6. ALL STRUCTURAL SYSTEMS THAT ARE TO BE COMPOSED OF MANUFACTURED COMPONENTS TO BE FIELD ERRECTED SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO THEIR USE AND SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE, AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
7. FRAMING MEMBERS WHICH ARE NOT DIMENSIONED SHALL BE EQUALLY SPACED BETWEEN DIMENSIONED POINT OR MEMBERS.
8. SEE ARCHITECTURAL DRAWINGS FOR THE FOLLOWING:
  - A. SIZE AND LOCATION OF ALL DOOR AND WINDOW OPENINGS AND THRESHOLD REQUIREMENTS.
  - B. SIZE AND LOCATION OF ALL NON-BEARING PARTITIONS.
  - C. SIZE AND LOCATION OF ROOF, FLOOR AND WALL OPENINGS.
  - D. SIZE AND LOCATION OF DEPRESSED AREAS, CHANGES IN ELEVATION, FLOOR AND ROOF DRAINS, SLOPES, CONCRETE CURBS, LEDGES, PADS AND ISLANDS, CHAMFERS, GROOVES, INSERTS, ETC.
  - E. DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
  - F. EXTERIOR WALL SYSTEMS.
9. SEE ARCH, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR THE FOLLOWING:
  - A. PIPE RUNS, SLEEVES, HANGERS, TRENCHES, WALL, ROOF AND FLOOR OPENINGS, ETC., NOT SHOWN OR NOTED.
  - B. ELECTRICAL CONDUIT RUNS, BOXES, OUTLETS IN WALLS AND SLABS.
  - C. ANCHORAGE AND BRACING FOR ELECTRICAL, MECHANICAL OR PLUMBING EQUIPMENT TO THE STRUCTURE.
  - D. ANCHOR BOLTS FOR MOTOR MOUNTS.
  - E. SIZE, WEIGHT AND LOCATION OF MACHINES AND EQUIPMENT BASES.
10. THE CONTRACT DOCUMENTS REPRESENT THE FINISHED STRUCTURE, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
11. OPENINGS, POCKETS, ETC. SHALL NOT BE PLACED IN STRUCTURAL MEMBERS UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS. NOTIFY THE STRUCTURAL ENGINEER WHEN DRAWINGS BY OTHERS SHOW OPENINGS, POCKETS, ETC., LARGER THAN 6 INCHES NOT SHOWN ON THE STRUCTURAL DRAWINGS, BUT WHICH ARE LOCATED IN STRUCTURAL MEMBERS.
12. SPECIFICATIONS, CODES, AND STANDARDS NOTED IN THE CONTRACT DOCUMENTS SHALL BE OF THE LATEST APPROVED ISSUE, INCLUDING SUPPLEMENTS, UNLESS OTHERWISE NOTED. MATERIAL SPECIFICATIONS ARE ASTM LATEST EDITION.
13. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

DESIGN CRITERIA

DESIGN LOADS:	
ROOF DEAD LOAD	PER CALCULATIONS
ROOF SNOW LOAD	25 PSF (ADD 5 PSF @ PATIO ROOF)
WIND DESIGN:	
BASIC WIND SPEED (3 SECOND GUST)	110 MPH
EXPOSURE CATEGORY	D
IMPORTANCE FACTOR Iw	1.0
	1.0
SEISMIC DESIGN:	
SEISMIC USE GROUP	I
Sds	0.928
Sh1	0.485
SOIL CLASSIFICATION	D (ASSUMED)
IMPORTANCE FACTOR Ie	1.0
R	3.5 & 6.5

SEISMIC DESIGN FORCE SYSTEM CONSISTS OF ORDINARY STEEL MOMENT FRAMES AND LIGHT FRAMED PLYWOOD SHEAR WALLS.

SOILS

DESIGN CRITERIA LISTED BELOW TO BE VERIFIED IN FIELD BY GEOTECHNICAL ENGINEER.

SOILS DESIGN CRITERIA

ALLOWABLE BEARING	3000 PSF
PIPE PILES	
2"ø	6000 LBS

STRUCTURAL STEEL INSPECTION SCHEDULE	
INSPECTION TASKS PRIOR TO WELDING	
1. REVIEW MANUFACTURERS SPECIFICATIONS FOR WELDING CONSUMABLES.	P
2. MATERIAL IDENTIFICATION	P
3. WELDER IDENTIFICATION SYSTEM	O
4. FIT UP OF FILLET WELDS (DIMENSIONS, CLEANLNESS, TACKLING)	O
5. CHECK WELDING EQUIPMENT	O
INSPECTION TASKS DURING WELDING	
1. REVIEW WELDERS QUALIFICATIONS	O
2. CONTROL AND HANDLING OF WELDING CONSUMABLES (PACKAGING, EXP CONTROL)	O
3. ENVIRONMENTAL CONDITIONS (WIND SPEED WITHIN LIMITS, PRECIP AND TEMP)	O
4. WELDING PROCEDURES FOLLOWED (WELDING EQUIPMENT SETTINGS, TRAVEL SPEED, WELDING MATERIALS, SHIELD GAS TYPE AND FLOW RATE, PREHEAT, INTERPASS TEMP MAINTAINED, PROPER POSITION)	O
5. WELDING TECHNIQUES (INTERPASS AND FINAL CLEANING, EACH PASS MEETS PROFILE LIMITS, EA PASS MEETS QUALITY REQUIREMENTS)	O
INSPECTION TASKS AFTER WELDING	
1. WELDS CLEANED	O
2. SIZE LENGTH AND LOCATION OF WELDS	P
3. WELDS MEET VISUAL ACCEPTANCE CRITERIA (CRACK PROHIBITION, WELD BASE METAL FUSION, WEARING MATERIALS, SHIELD GAS TYPE AND FLOW RATE, PREHEAT, INTERPASS TEMP MAINTAINED, PROPER POSITION)	P
4. K-AREA	P
5. ARC STRIKES	P
6. REPAIR ACTIVITIES	P
7. DOCUMENT ACCEPTANCE OR REJECTION OF MEMBER OR WELDED JOINT	P
O = OBSERVE PERIODICALLY AND ON A RANDOM BASIS	
P = PERFORM OBSERVATION CONTINUOUSLY FOR EA WELDED JT OR MEMBER	

FOUNDATIONS

1. ALL FOUNDATIONS SHALL BE FOUNDED A MINIMUM OF 18" BELOW LOWEST ADJACENT FINAL FINISH FLOOR OR GRADE.
2. ALL BEARING SURFACES SHALL BE INSPECTED BY GEOTECH OF RECORD PRIOR TO PLACING CONCRETE.
3. ALL PIPE PILE INSTALLATION SHALL BE CONTINUALLY INSPECTED BY A REPRESENTATIVE OF THE GEOTECH OF RECORD.
4. CONTRACTOR SHALL DEVELOP PILE LOCATION PLAN COMPLETE WITH SURVEYING COORDINATES AND DIMENSIONS LOCATING PILES RELATIVE TO BUILDING CORNERS. SUBMIT TO ARCH FOR REVIEW PRIOR TO INSTALLATION OF PILES.

CONCRETE

1. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI 318 AND ACI 301, WITH MODIFICATIONS AS NOTED IN THE CONTRACT DOCUMENTS.
2. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150 TYPE I OR TYPE II.
3. COARSE AND FINE AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C-33.
4. AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C-330 AND THE PROJECT SPECIFICATIONS.
5. WATER SHALL BE CLEAR AND SHALL CONFORM TO ASTM C-94.
6. CONCRETE MIXING OPERATION SHALL CONFORM TO ASTM C-94.
7. ADD TO ALL CONCRETE EXPOSED TO WEATHER MICROAIR OR MBVR AIR ENTRAINING AGENT TO ATTAIN 5 PERCENT +/- 1 PERCENT ENTRAINED AIR, BY VOLUME, CONFORMING TO ASTM C-260. ALL REFERENCE DATA USED FOR PAST PERFORMANCE DESIGN SHALL HAVE CONTAINED THE SAME ADMIXTURE BRAND AS THAT USED IN THE MIX SUBMITTED.
8. CONCRETE STRENGTHS SHALL BE VERIFIED BY 28-DAY CYLINDER TESTS, UNLESS OTHERWISE APPROVED. CONCRETE SHALL BE AS FOLLOWS:
 

ELEMENT	DES STRENGTH USED IN CALCS	MIX DESIGN STRENGTH PSI	CONCRETE TYPE
FOOTINGS	2500	4000	5 1/2 SACK W/C<.45
WALLS	2500	4000	5 1/2 SACK W/C<.45
SLAB ON GRADE	2500	4000	5 1/2 SACK W/C<.45
9. CONTRACTOR MAY USE AN ADMIXTURE SYSTEM TO PRODUCE FLOWABLE CONCRETE. MAXIMUM SLUMP SHALL NOT EXCEED 10 INCHES MEASURED AT THE PUMP. THE WATER/CEMENTIOUS MATERIAL RATIO OF THE APPROVED MIXES SHALL BE MAINTAINED OR LOWERED WHEN FLOWABLE CONCRETE IS USED. A REPRESENTATIVE OF THE ADMIXTURE SYSTEM SHALL ASSIST IN DETERMINING PROPORTIONS FOR FLOWABLE CONCRETE AND SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO EMPLOYING THIS PROCEDURE.
10. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT PLACED IN CAST-IN-PLACE CONCRETE:
 

A.	CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"
B.	CONCRETE EXPOSED TO EARTH OR WEATHER: #6 THROUGH #18 BARS #5 BAR, W31 OR D31 WIRE, AND SMALLER	2" 1 1/2"
C.	CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: SLABS, WALLS, JOISTS: #14 AND #18 BARS #11 BARS AND SMALLER BEAMS, COLUMNS: PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS SHELLS, FOLDED PLATE MEMBERS: #6 BAR AND LARGER #5 BAR, W31 OR D31 WIRE, AND SMALLER	1 1/2" 3/4" 1 1/2" 3/4" 1/2"

A.	CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"
B.	CONCRETE EXPOSED TO EARTH OR WEATHER: #6 THROUGH #18 BARS #5 BAR, W31 OR D31 WIRE, AND SMALLER	2" 1 1/2"
C.	CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: SLABS, WALLS, JOISTS: #14 AND #18 BARS #11 BARS AND SMALLER BEAMS, COLUMNS: PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS SHELLS, FOLDED PLATE MEMBERS: #6 BAR AND LARGER #5 BAR, W31 OR D31 WIRE, AND SMALLER	1 1/2" 3/4" 1 1/2" 3/4" 1/2"

11. BASE PLATE GROUT SHALL BE NON-SHRINK TYPE WITH F'c=7000 PSI, GRADE B, CONFORMING TO ASTM C-1107.
12. PLACEMENT OF CONCRETE SHALL CONFORM TO ACI 304 AND THE CONTRACT DOCUMENTS. SPANDBLAST ALL CONCRETE SURFACES AGAINST WHICH CONCRETE IS TO BE PLACED.
13. PROJECTING CORNERS OF BEAMS, WALLS, COLUMNS, ETC., SHALL BE FORMED WITH A 3/4 INCH CHAMFER, UNLESS OTHERWISE NOTED ON THE ARCHITECTURAL DRAWINGS.
14. ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
15. PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. REINFORCING SHALL NOT BE CUT. CORING OF CONCRETE IS NOT PERMITTED EXCEPT AS INDICATED.
16. CONDUIT OR PIPE SIZE (O.D.) SHALL NOT EXCEED ONE THIRD OF THE SLAB THICKNESS AND SHALL BE PLACED BETWEEN THE TOP AND BOTTOM REINFORCING, UNLESS SPECIFICALLY DETAILED OTHERWISE. CONCENTRATIONS OF CONDUIT OR PIPES SHALL BE AVOIDED EXCEPT WHERE DETAILED OPENINGS ARE PROVIDED.
17. CURING COMPOUNDS USED ON CONCRETE TO RECEIVE A FINISH SHALL BE APPROVED BY THE FINISH APPLICATOR BEFORE USE.

REINFORCING STEEL

1. REINFORCING STEEL SHALL BE DETAILED, INCLUDING HOOKS AND BENDS, AND PLACED IN ACCORDANCE WITH ACI 315 AND ACI 318.
2. REINFORCING STEEL SHALL CONFORM TO ASTM A-615 OR A-706, GRADE 60.
3. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
4. ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
5. REINFORCING SPLICES SHALL BE MADE AS INDICATED ON THE DRAWINGS.
6. DOWELS BETWEEN FOOTINGS AND WALLS OR COLUMNS SHALL BE THE SAME GRADE, SIZE AND SPACING AS THE VERTICAL REINFORCING, RESPECTIVELY, UNLESS OTHERWISE NOTED.
7. PROVIDE #4 x 2'-0" DIAGONAL BAR AT ALL REINTRANT CORNERS OF CONCRETE SLABS ON GRADE.
8. NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED AND REVIEWED BY THE STRUCTURAL ENGINEER.
9. WELDING OF REINFORCEMENT SHALL BE WITH LOW HYDROGEN ELECTRODES IN CONFORMANCE WITH ACI 318-83 AND THE RECOMMENDATIONS OF THE AMERICAN WELDING SOCIETY, AWS D1.4 AND WITH THE REVIEW OF THE STRUCTURAL ENGINEER.
10. PROVIDE SHOP DRAWINGS FOR REINFORCING FOR CONCRETE BEAMS AND GRADE BEAMS.

ANCHORAGE

1. EXPANSION SHALL BE ZINC PLATED IN ACCORDANCE WITH ASTM B633, AND CONFORM WITH FS FF-5-325, GROUP II, TYPE 4, CLASS 1.
2. SLEEVE ANCHORS SHALL BE ZINC PLATED IN ACCORDANCE WITH ASTM B633, AND CONFORM WITH FS FF-5-325, GROUP II, TYPE 3, CLASS 3.
3. FLUSH SHELL ANCHORS SHALL BE ZINC PLATED IN ACCORDANCE WITH ASTM B633, AND CONFORM WITH FS-FF-S-325, GROUP VIII, TYPE 1.
4. ADHESIVE ANCHORS SHALL CONSIST OF ALL-THREAD ANCHOR ROD, NUT, WASHER, AND EPOXY INJECTION GEL OR ADHESIVE CAPSULE SYSTEM. ANCHOR RODS SHALL BE MANUFACTURED FROM A-36 MATERIAL, ZINC PLATED IN ACCORDANCE WITH ASTM B633.
5. ALL RELATED PRODUCTS, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. NOTATIONS ON DRAWINGS RELATING TO EXPANSION, SLEEVE, FLUSH, OR ADHESIVE ANCHORS AND OTHER CONNECTING DEVICES REFER TO CONNECTORS MANUFACTURED BY POWERS FASTENING, INC. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED PROVIDED THAT THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES AND ARE REVIEWED BY THE STRUCTURAL ENGINEER.
7. POWDER ACTUATED FASTENERS SHALL BE .157"ø UNIVERSAL KNURLED SHANK X-U.

STRUCTURAL STEEL, MISC. METAL

TYPE OF MEMBER	ASTM SPECIFICATION	Fy
PLATES, SHAPES, ANGLES, AND RODS	A36 (UON)	36 KSI
HOLLOW STRUCTURAL SECTIONS (SQUARE OR RECTANGLE)	A500 (GRADE B)	46 KSI
ANCHOR RODS (EMBEDDED IN CONCRETE)	A307 (UON)	
CONNECTION BOLTS	A325 (UON)	

2. WELDED THREADED STUD CONNECTORS SHALL BE NELSON GRANULAR FLUX-FILLED ANCHOR STUDS OR AN APPROVED EQUAL.
3. THE STRUCTURAL STEEL FABRICATOR SHALL FURNISH SHOP DRAWINGS FOR REVIEW BEFORE FABRICATION.
4. ALL WELDS SHALL BE PREQUALIFIED IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WELDERS CERTIFIED IN THE JURISDICTION HAVING AUTHORITY OVER THIS PORTION OF THE WORK. USE E70XX ELECTRODES.
5. WELD LENGTHS CALLED FOR ON THE PLANS ARE THE NET EFFECTIVE LENGTH REQUIRED. WELD SIZE SHALL BE AISC MINIMUM, UNLESS OTHERWISE NOTED.

WOOD

1. FRAMING LUMBER SHALL BE GRADED AND MARKED IN CONFORMANCE WITH WCLB STANDARD GRADING AND DRESSING RULES FOR WEST COAST LUMBER 16, LATEST EDITION. UNLESS OTHERWISE NOTED ON THE DRAWINGS, LUMBER GRADES SHALL BE AS FOLLOWS:
  - A. JOISTS: 2 INCH AND 3 INCH THICKNESS, HEM FIR NO. 1.
  - B. BEAMS AND STRINGERS: DOUGLAS FIR NO. 1.
  - C. POST AND TIMBERS: DOUGLAS FIR NO. 1.
  - D. PLATES AND MISCELLANEOUS LIGHT FRAMING: HEM FIR STANDARD.
  - E. STUDS: HEM FIR STUD.
2. MINIMUM NAILING REQUIREMENTS:
 

UNLESS OTHERWISE NOTED, MINIMUM NAILING SHALL CONFORM TO THE GOVERNING CODE AND AS FOLLOWS:

A.	JOISTS OR RAFTERS TO SIDES OF STUDS 8 INCH OR LESS	3-16D
B.	FOR EACH ADDITIONAL 4 INCH IN DEPTH OF JOISTS	1-16D
C.	JOISTS OR RAFTERS AT ALL BEARINGS-TOENAILS EACH SIDE	2-10D
D.	STUDS TO BEARING - TOENAILS EACH SIDE	2-10D
E.	BLOCKING BETWEEN JOISTS OR RAFTERS: TO JOIST OR RAFTERS-TOENAILS EACH SIDE EACH END TO JOIST OR RAFTER BEARINGS-TOENAILS EACH SIDE	2-10D

- F.
 CROSS-BRIDGING BETWEEN JOISTS OR RAFTERS TOENAILS EACH END | 2-8D |- G.
 BLOCKING BETWEEN STUDS - TOENAILS EACH END | 2-10D |- H.
 DOUBLE TOP PLATES - LOWER PLATE TO TOP OF STUD | 2-16D |- J.
 UPPER TO LOWER PLATE - STAGGERED | 16D @ 16" OC |- K.
 WALL TOP PLATE SPLICE - | 8-16D |- L.
 MULTIPLE JOISTS - STAGGERED | 16D @ 12" OC |- M.
 MULTIPLE JOISTS - STAGGER FOR WIDTHS MORE THAN 4 INCHES | 16D @ 12" OC |

3. INDIVIDUAL MEMBERS OF BUILT-UP POSTS AND BEAMS SHALL EACH BE ATTACHED WITH 16D SPIKES AT 12" OC STAGGERED, MIN.
4. ALL NAILS SHALL BE COMMON WIRE NAILS. WHENEVER POSSIBLE, NAILS DRIVEN PERPENDICULAR TO THE GRAIN SHALL BE USED. THERE SHALL BE A MINIMUM OF 2 NAILS AT ALL WOOD CONTACTS AND JOINTS USING 8D NAILS FOR 1 INCH THICK MATERIAL, 16D NAILS FOR 2 INCH THICK MATERIAL, AND 40D NAILS FOR 3 INCH THICK MATERIAL. ALL CONTINUOUS CONTACTS PROVIDE MINIMUM NAILS AT 12" OC WITH NAIL SIZES AS CALLED ABOVE.
5. NOTATIONS ON DRAWINGS RELATING TO FRAMING CLIPS, JOIST HANGERS, AND OTHER CONNECTING DEVICES REFER TO CATALOG NUMBERS OF STRONG-TIE CONNECTORS MANUFACTURED BY THE SIMPSON COMPANY. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED PROVIDED THAT THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES AND ARE REVIEWED BY THE STRUCTURAL ENGINEER. SFS INTEC NOTATIONS REFER TO FASTENERS MANUFACTURED BY SFS INTEC, INC.
6. AT SAWN TIMBER JOISTS WITH THICKNESS-TO-DEPTH RATION OF 1:6 AND GREATER, PROVIDE CROSS-BRIDGING AT 8'-0" OC. AND SOLID BLOCKING AT BEARING POINTS.
7. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE GOVERNING CODE.
8. ALL BEARING AND EXTERIOR STUD WALLS SHALL BE 3x4 @ 16" OC BELOW SECOND FLOOR AND 2x4 @ 16" OC ELSEWHERE, UNLESS OTHERWISE NOTED.
9. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHTS AND AT INTERVALS NOT TO EXCEED 8'-0" OF ALL STUD-BEARING WALLS OVER 8'-0" IN HEIGHT.
10. ALL CANTS AND CRICKETS SHALL BE PLACED OVER BASIC ROOF SHEATHING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS AND LOCATIONS.
11. ALL WOOD STUD WALL SILL PLATES SHALL BE ATTACHED TO CONCRETE OR MASONRY WITH 1/2 INCH DIAMETER ANCHOR BOLTS AT 48" OC, UNLESS OTHERWISE NOTED .
12. ALL WOOD STUD WALLS SHALL HAVE LOWER WOOD PLATE ATTACHED TO WOOD FRAMING BELOW WITH 16D NAILS AT 6" OC STAGGERED UNLESS SHOWN OTHERWISE.
13. FASTEN ALL POSTS TO CONCRETE WITH "CB" COLUMN BASE OR EQUAL.
14. ALL WOOD PLATES AND BLOCKING IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE IN ACCORDANCE WITH AWPS-FDN, AND BEAR THAT QUALITY MARK.
15. PROVIDE STANDARD CUT WASHERS UNDER ALL BOLTS HEADS AND NUTS IN CONTACT WITH WOOD.
16. ATTACH TIMBER JOISTS TO FLUSH HEADERS AND BEAMS WITH "U" SERIES METAL JOIST HANGERS TO SUIT THE JOIST SIZE.
17. ALL PLYWOOD SHALL BE DOUGLAS FIR, STRUCTURAL II AND SHALL CONFORM TO APA C-D INTERIOR GRADE WITH EXTERIOR GLUE AND WITH PRODUCT STANDARD PS1. WOOD-BASED STRUCTURAL-USE PANELS SHALL CONFORM WITH PRODUCT STANDARD PS2.
18. PANEL TYPE AND NAILING, USE UNLESS OTHERWISE NOTED:
 

FLOOR:	1½" T&G APA RATED PANELS 10d @ 4" OC AT ALL SUPPORTED EDGES. 10d @ 12" OC AT INTERMEDIATE BEARING POINTS.
ROOF:	¾" PW APA RATED PANELS 10d @ 4" OC AT SUPPORTED SHEET EDGES. 10d @ 12" OC AT INTERMEDIATE BEARING POINTS.
WALLS:	1½" APA RATED PANELS 10d @ 8" OC AT SHEET EDGES UNLESS NOTED OTHERWISE ON SHEAR WALL SCHEDULE. 10d @ 12" OC AT INTERMEDIATE BEARING POINTS.
19. MACHINER APPLIED NAILING IS SUBJECT TO A SATISFACTORY DEMONSTRATION AND THE APPROVAL OF THE CHECKING AGENCY AND THE ARCHITECT. NAIL HEADS SHALL NOT PENETRATE THE OUTER PLY MORE THAN WOULD BE NORMAL FOR A HAND HAMMER. EDGE DISTANCES SHALL BE MAINTAINED. SHINERS SHALL BE REMOVED AND REPLACED. THE APPROVAL IS SUBJECT TO CONTINUED SATISFACTORY PERFORMANCE. MACHINE APPLIED NAILING ONLY ON PLYWOOD GREATER THAN 5/16".

PLYWOOD AND WOOD-BASED STRUCTURAL-USE PANELS USED FOR WALL SHEATHING SHALL HAVE SOLID BLOCKING AT ALL EDGES.
--

1. PREFABRICATED WOOD JOISTS, BEAM AND TRUSSES SHALL BE SUPPLIED BY THE MANUFACTURER FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS AND SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS. ALL NECESSARY BRIDGING, BLOCKING, PRENOTCHED PLATES, BRACING, ETC., SHALL BE DETAILED AND FURNISHED BY THE MANUFACTURER.
2. PROVIDE ERECTION DRAWINGS SHOWING ALL MEMBERS, HANGERS AND ACCESSORIES TO BE PROVIDED.
2. ALL REQUIRED SUBMITTALS SHALL BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF WASHINGTON.
3. PERMANENT AND TEMPORARY BRIDGING SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATION.
4. ALL STRUCTURAL SYSTEMS THAT ARE COMPOSED OF COMPONENTS TO BE FIELD ERRECTED SHALL BE ERRECTED IN ACCORDANCE WITH THE INSTRUCTIONS PREPARED BY THE SUPPLIER.
5. PREFABRICATED WOOD JOISTS BEAMS AND TRUSSES SHALL BE MANUFACTURED BY TRUS-JOIST CORPORATION, OR "APPROVED EQUAL"

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MERCER ISLAND, WA

CLIENT:

LOUDEN RESIDENCE  
1315 97TH AVE SE  
MERCER ISLAND, WA

ISSUE:

PERMIT SET	04/13/2020
△ PERMIT COMM RESPONSE	07/06/2020
△ PERMIT COMM II RESP	08/20/2020
STEEL UPDATE	08/28/2020



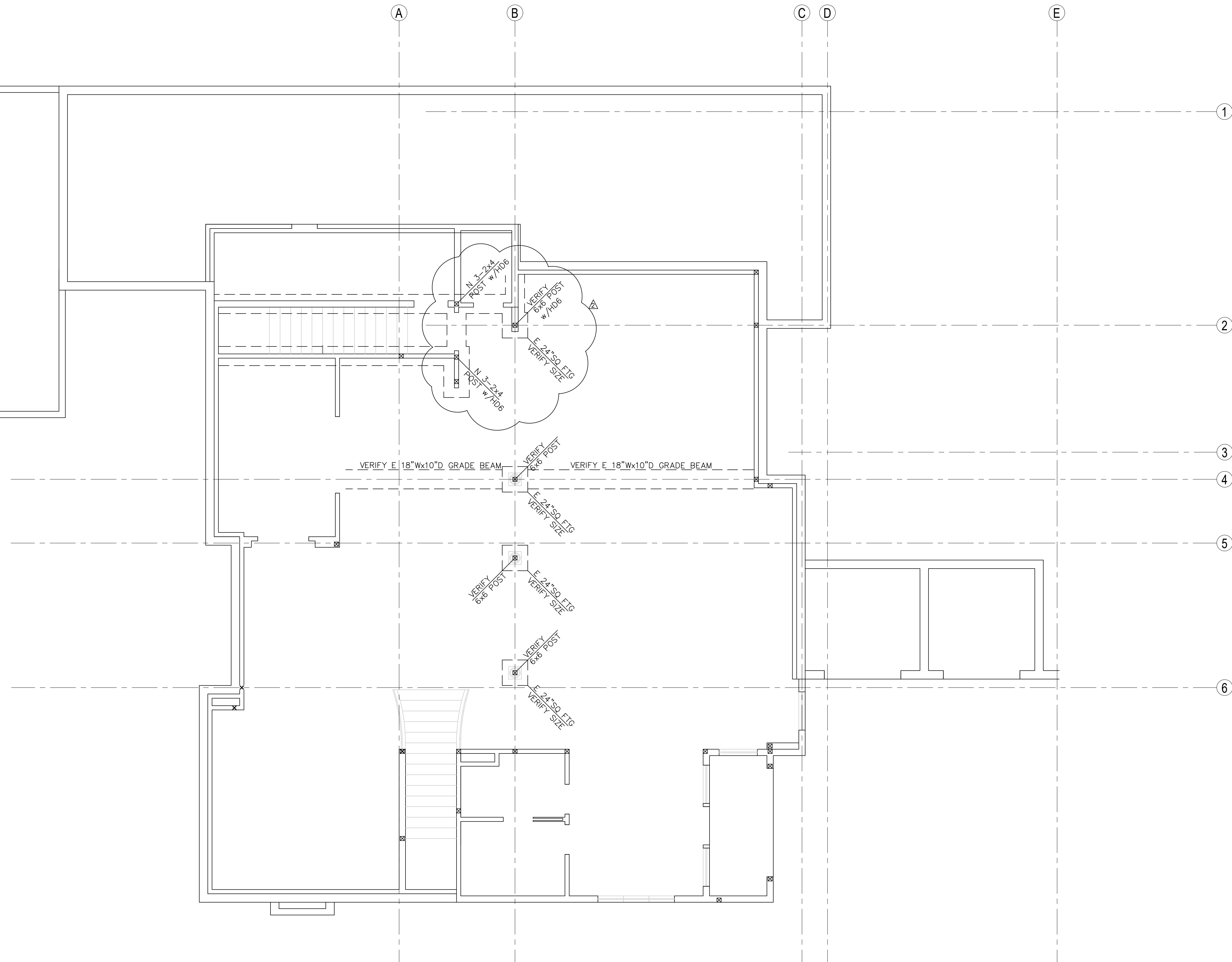
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STEEL UPDATE 08/28/2020



1 BASEMENT/FOUNDATION PLAN  
1/4"=1'-0"

DATE:  
13 APRIL 2020

SHEET TITLE:  
BASEMENT FOUND

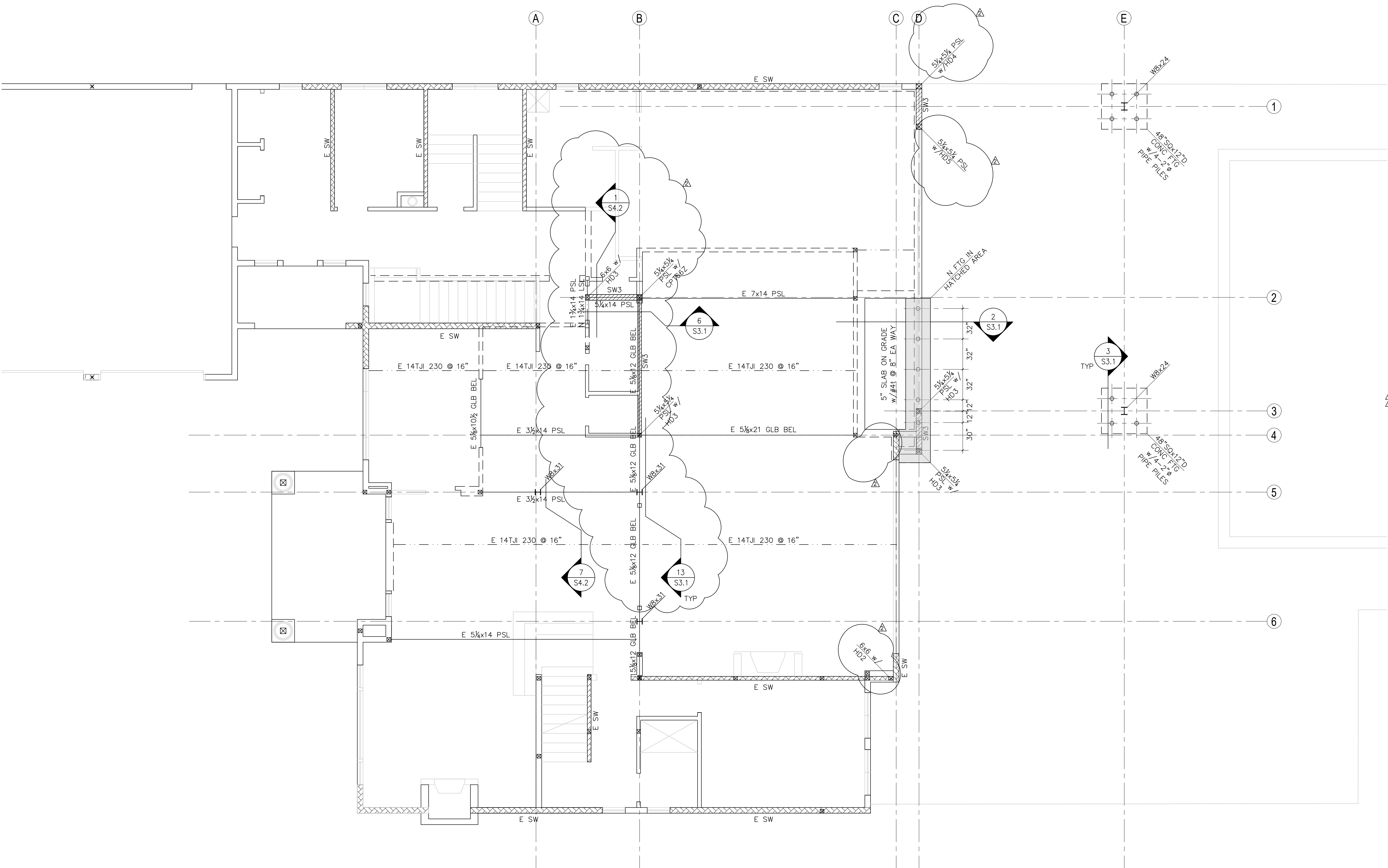
PLAN  
SHEET:

S2.1

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1 MAIN FLOOR FRAMING PLAN  
 SCALE: 1/4" = 1'-0"

DATE:  
 13 APRIL 2020

SHEET TITLE:  
 MAIN FLOOR  
 FRAMING PLAN  
 SHEET:

S2.2

PROJECT:  
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DATE:  
 13 APRIL 2020

SHEET TITLE:  
 2nd FLOOR

FRAMING PLAN  
 SHEET:

S2.3



1 2nd FLOOR FRAMING PLAN  
 SCALE: 1/4" = 1'-0"

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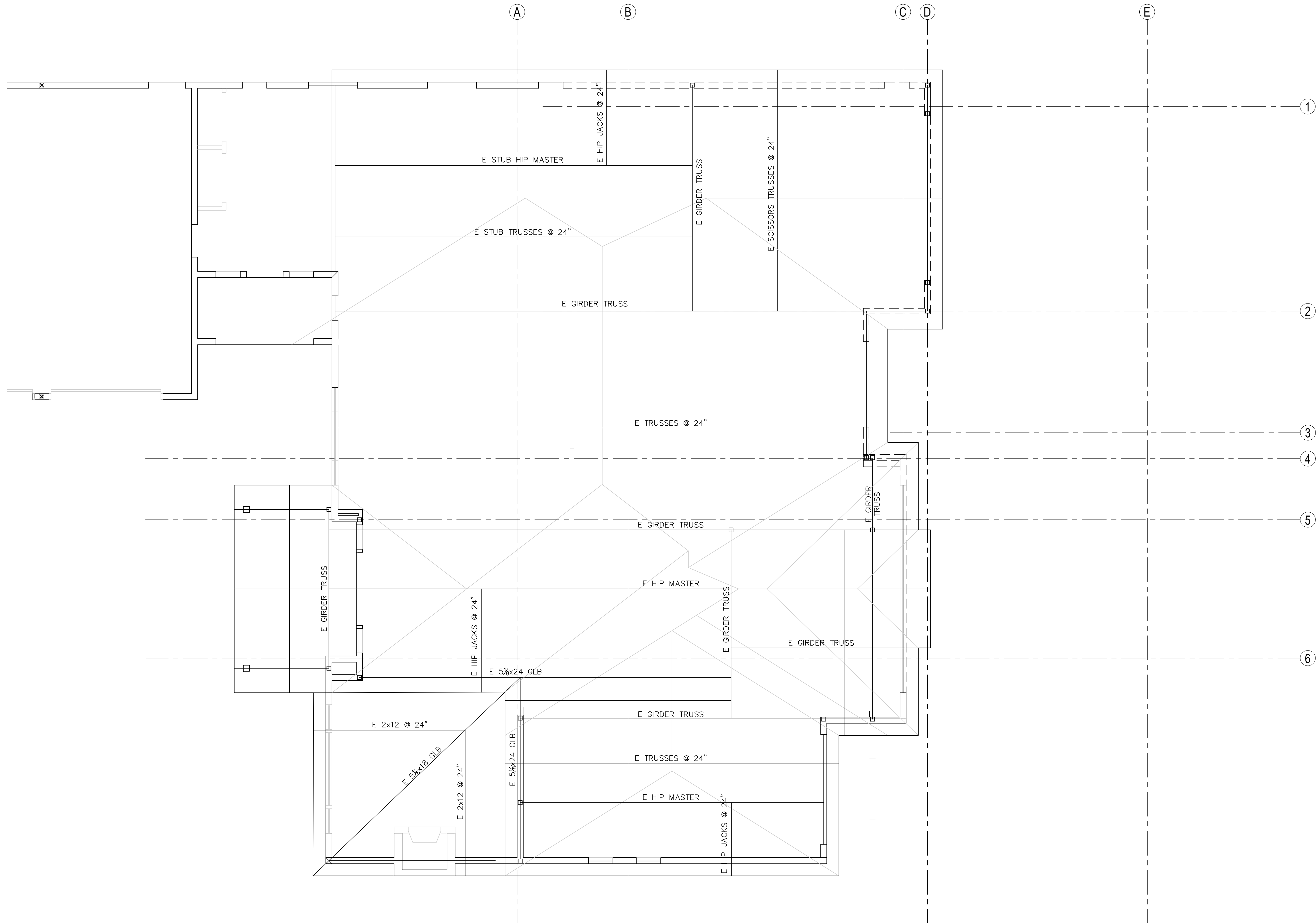
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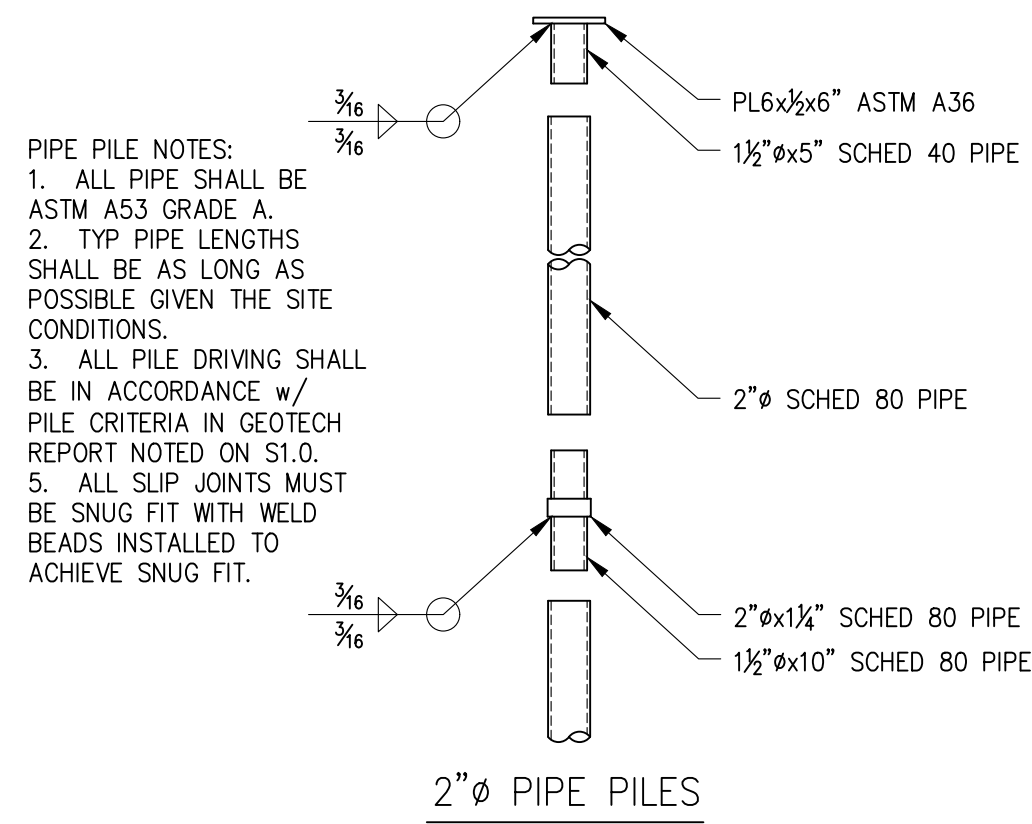
SHEET TITLE:  
 EXISTING ROOF

FRAMING PLAN  
 SHEET:

S2.4



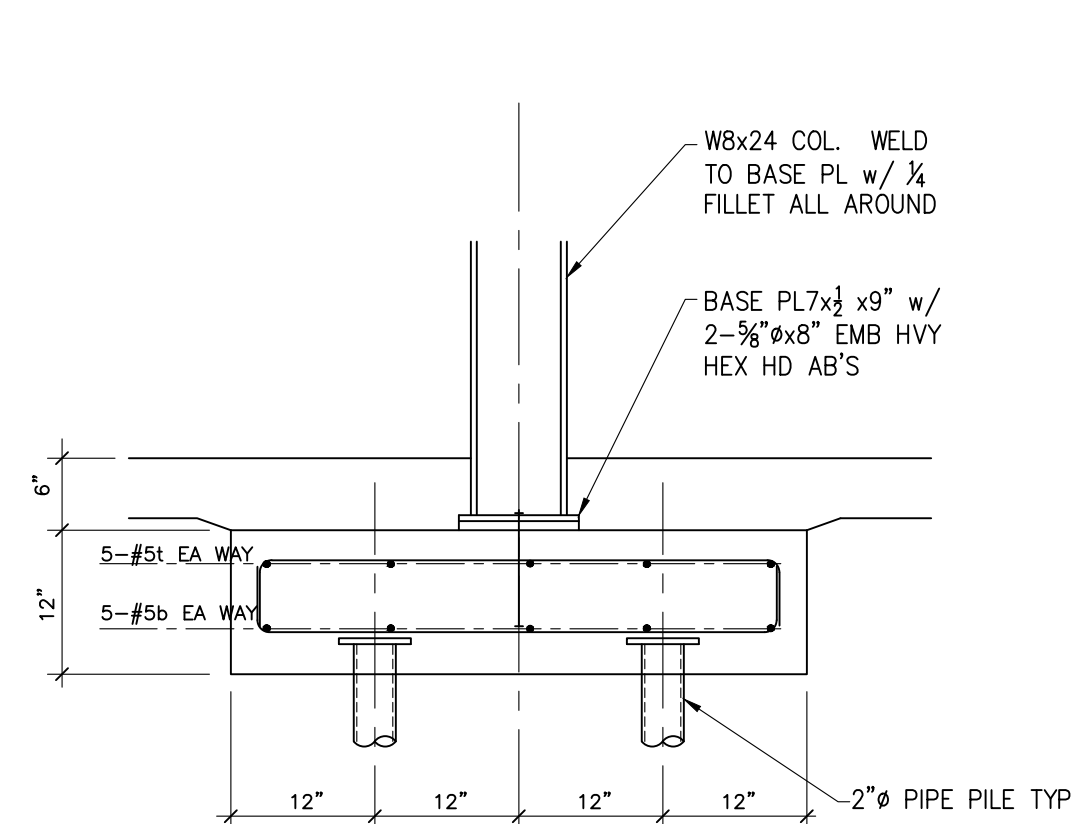
1 EXIST ROOF FRAMING PLAN  
 SCALE: 1/4" = 1'-0"



2"Ø PIPE PILES

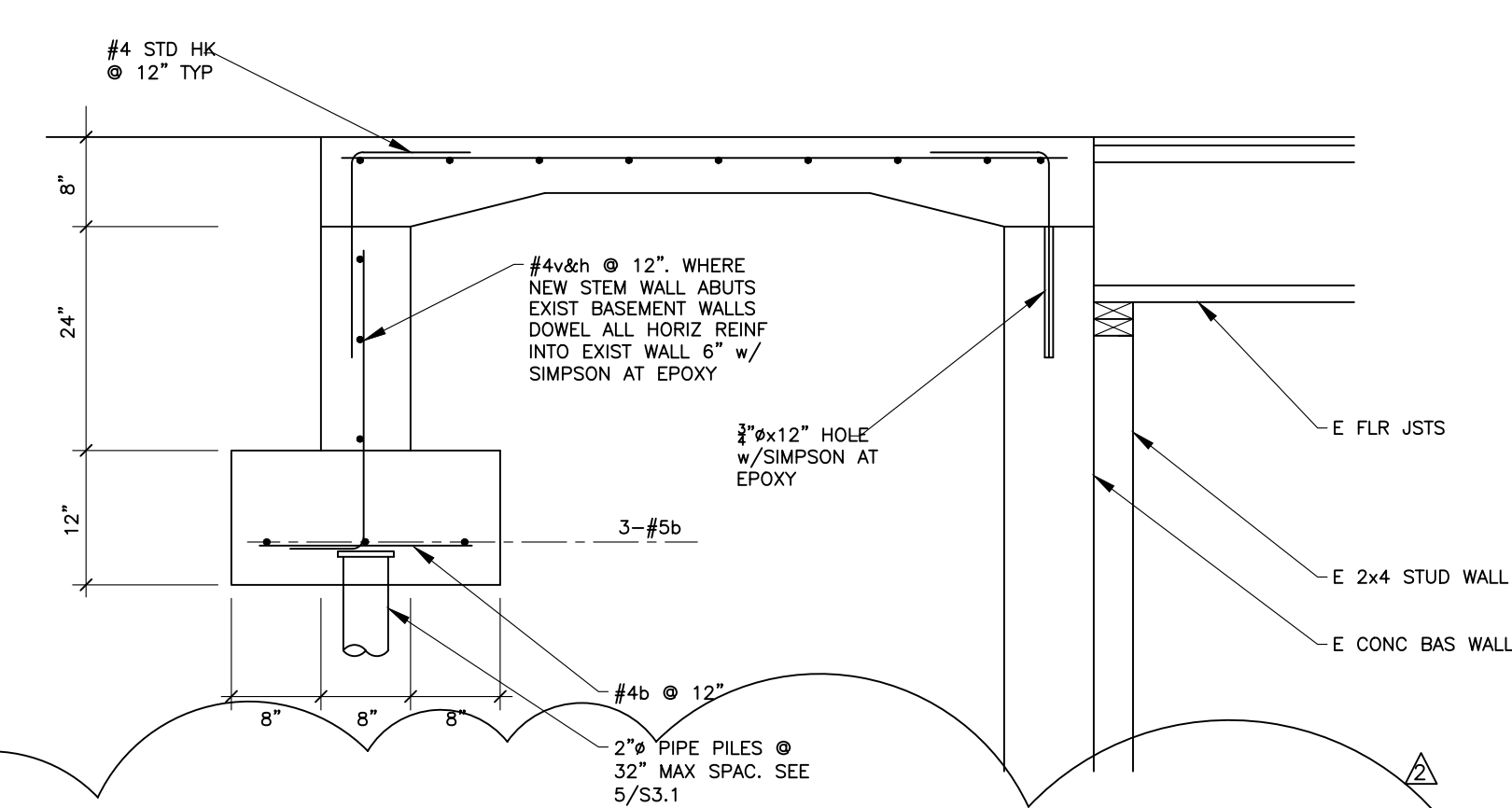
5 TYP PIPE PILE DETAILS

S3.1 SCALE: 3/4" = 1'-0"



3 SECTION

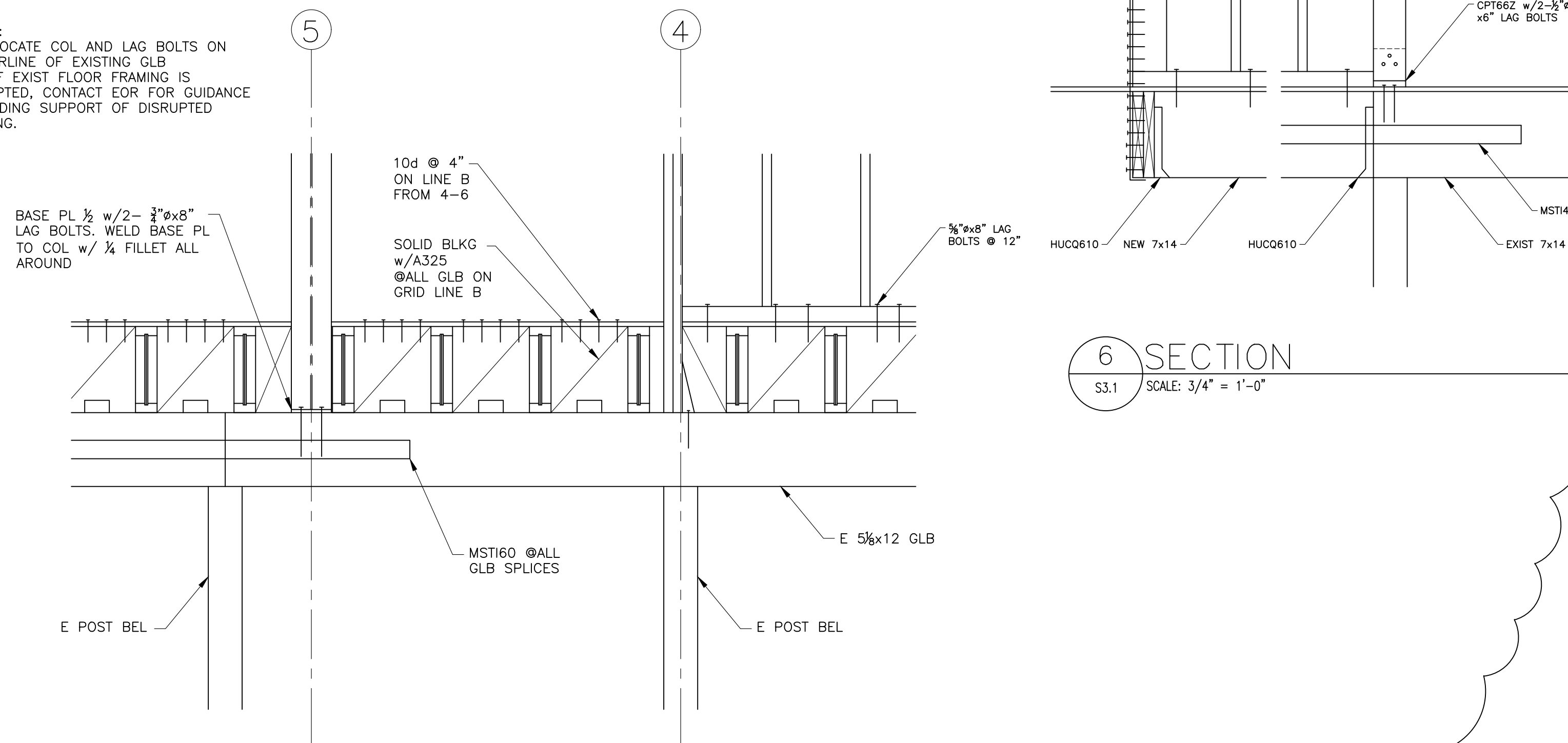
S3.1 SCALE: 3/4" = 1'-0"



2 SECTION

S3.1 SCALE: 3/4" = 1'-0"

NOTES:  
 1. LOCATE COL AND LAG BOLTS ON CENTERLINE OF EXISTING GLB  
 2. IF EXIST FLOOR FRAMING IS DISRUPTED, CONTACT EOR FOR GUIDANCE REGARDING SUPPORT OF DISRUPTED FRAMING.



6 SECTION

S3.1 SCALE: 3/4" = 1'-0"

13 SECTION

S3.1 SCALE: 3/4" = 1'-0"

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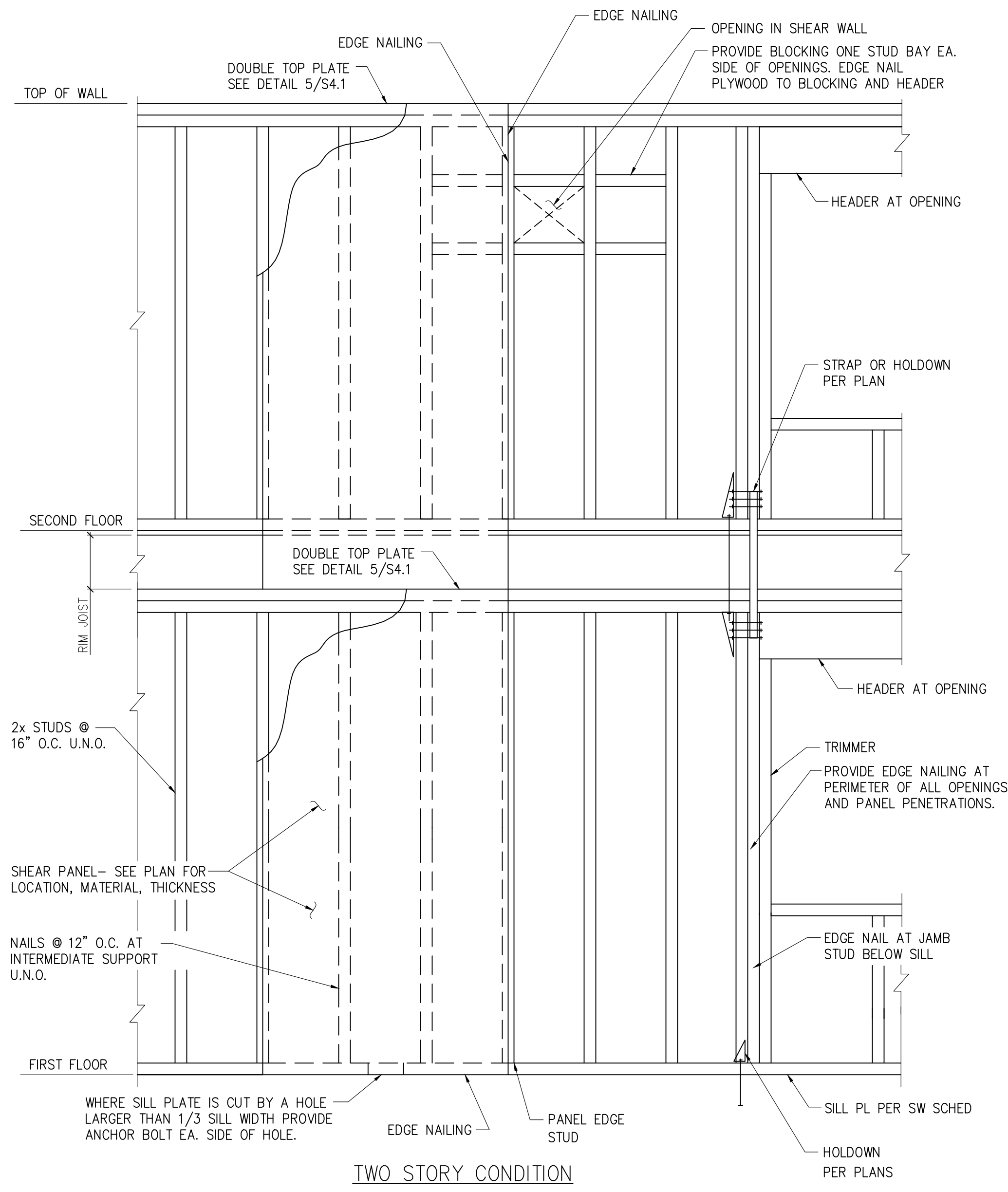
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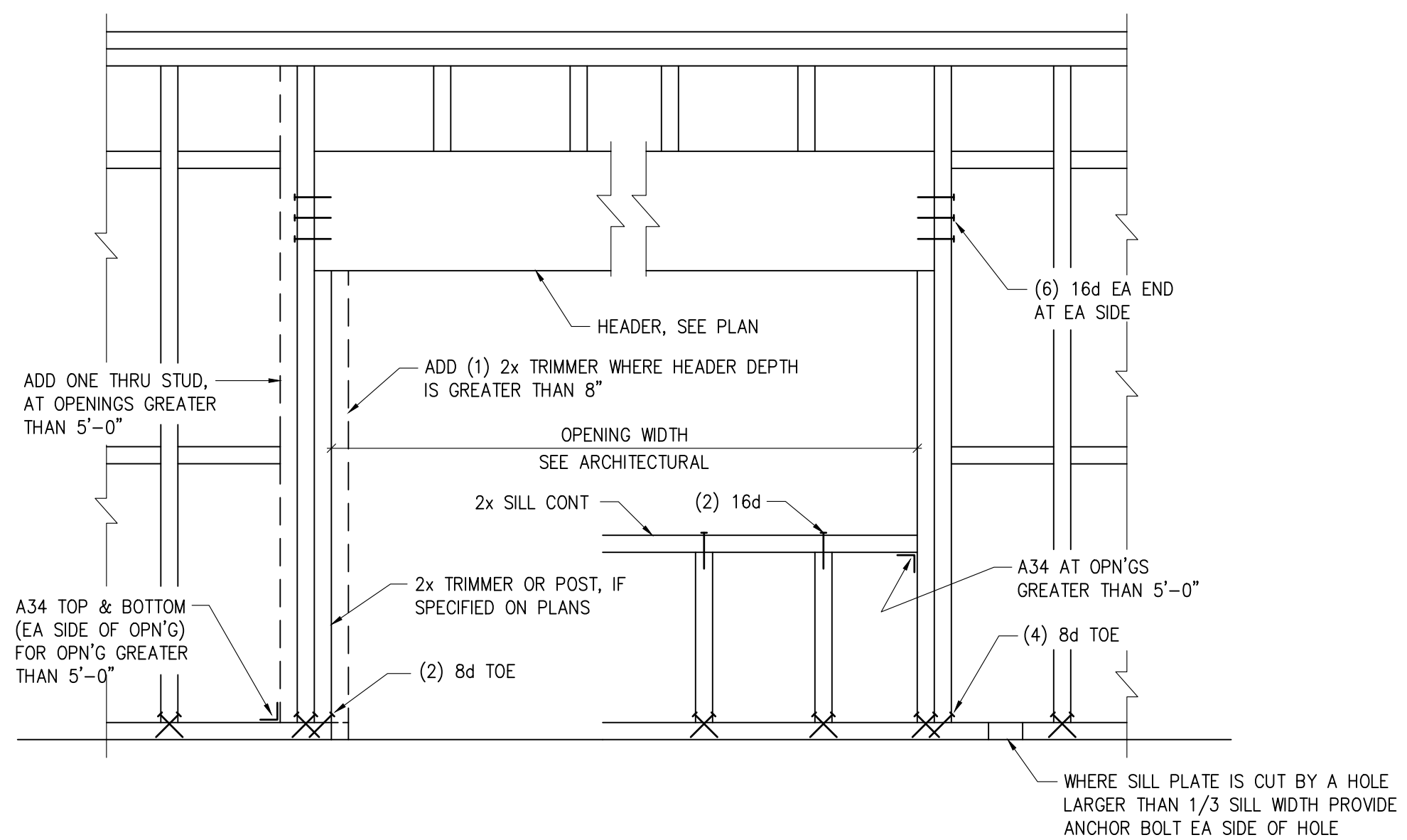
SHEET TITLE:  
 FOUNDATION DETAILS

SHEET:

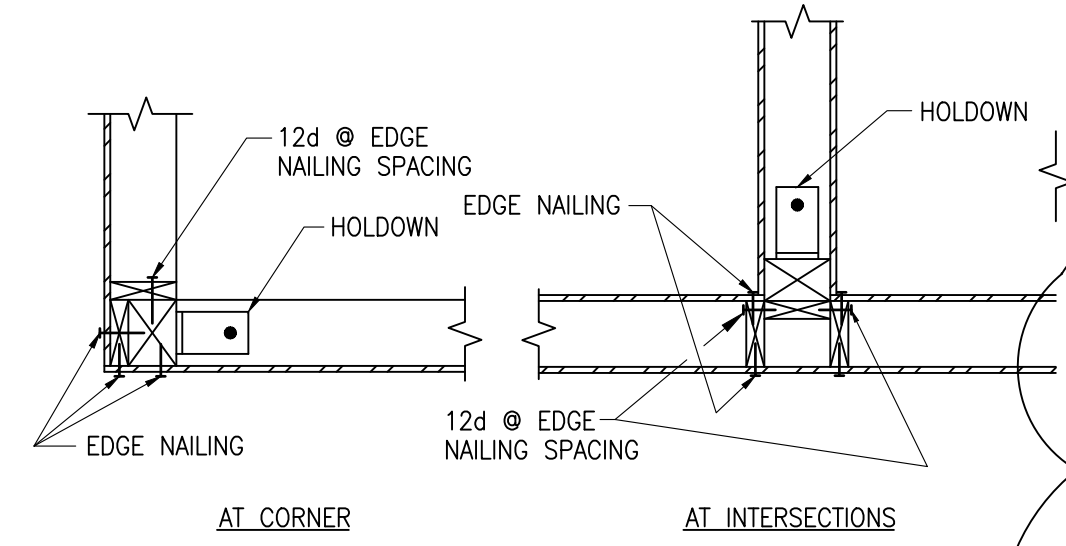
S3.1



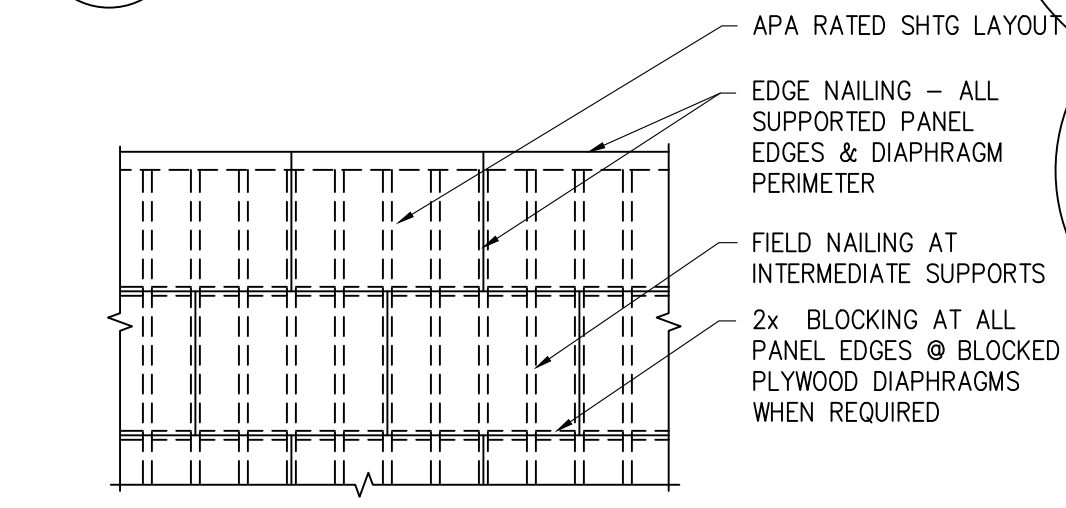
1 SHEAR WALL ELEVATION  
S4.1 SCALE: 3/4" = 1'-0"



2 HEADER CONNECTION DETAIL  
S4.1 SCALE: 3/4" = 1'-0"

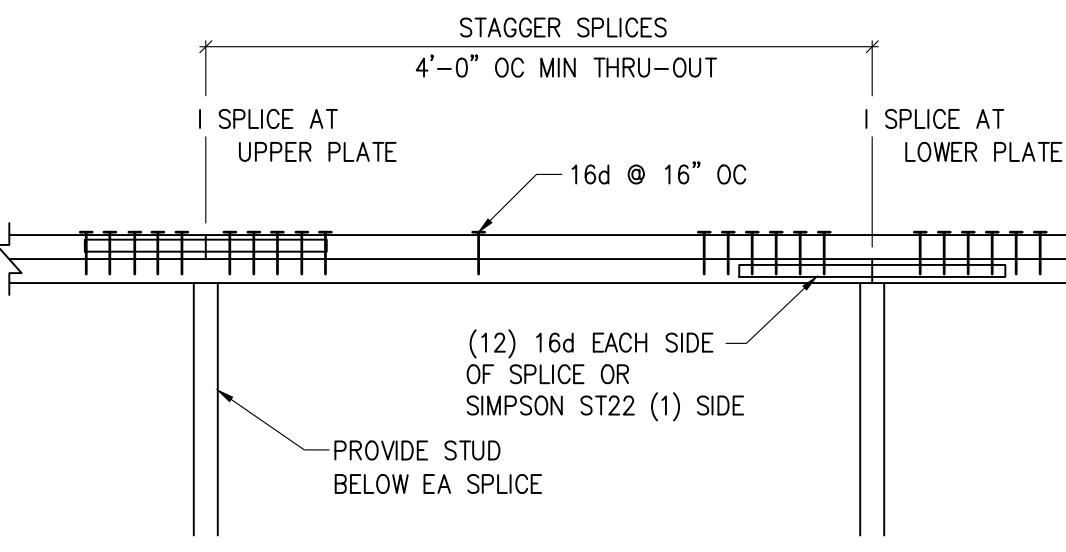


3 HOLD DOWN PLAN VIEWS  
S4.1 SCALE: 3/4" = 1'-0"

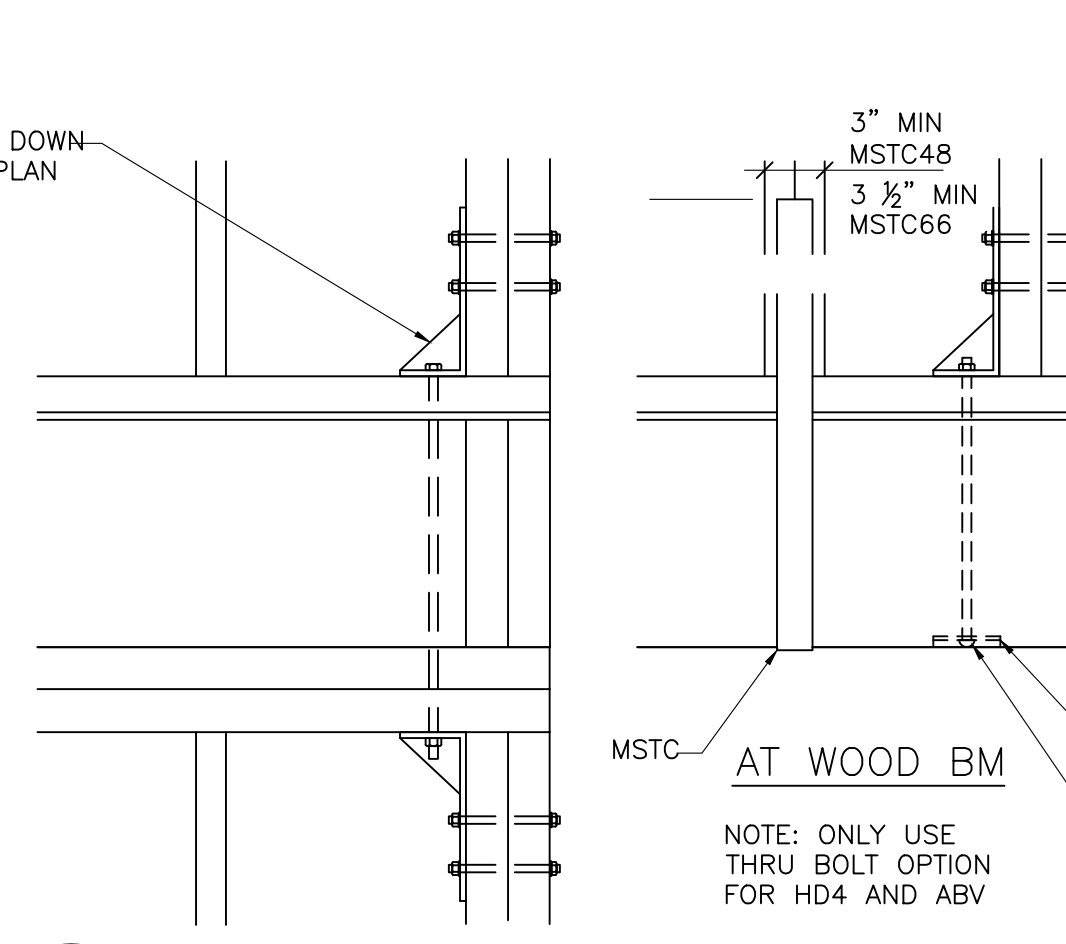


- NOTES:
1. MIN EDGE DISTANCE FOR NAILS SHALL BE 3/8".
  2. MIN SHEATHING SHEET SIZE SHALL BE 2'-0"x4'-0".
  3. NAILS SHALL NOT BE OVERDRIVEN.
  4. NAILS SHALL BE COMMON WIRE TYPE OR APPROVED EQUAL.
  5. SEE PLANS FOR AREAS OF BLOCKED DIAPHRAGMS

4 SHEATHED DIAPHRAGM CONSTRUCTION  
S4.1 SCALE: 3/4" = 1'-0"



5 DBL TOP PLATE SPLICE  
S4.1 SCALE: 3/4" = 1'-0"



6 HOLD DOWN DETAILS  
S4.1 SCALE: 3/4" = 1'-0"

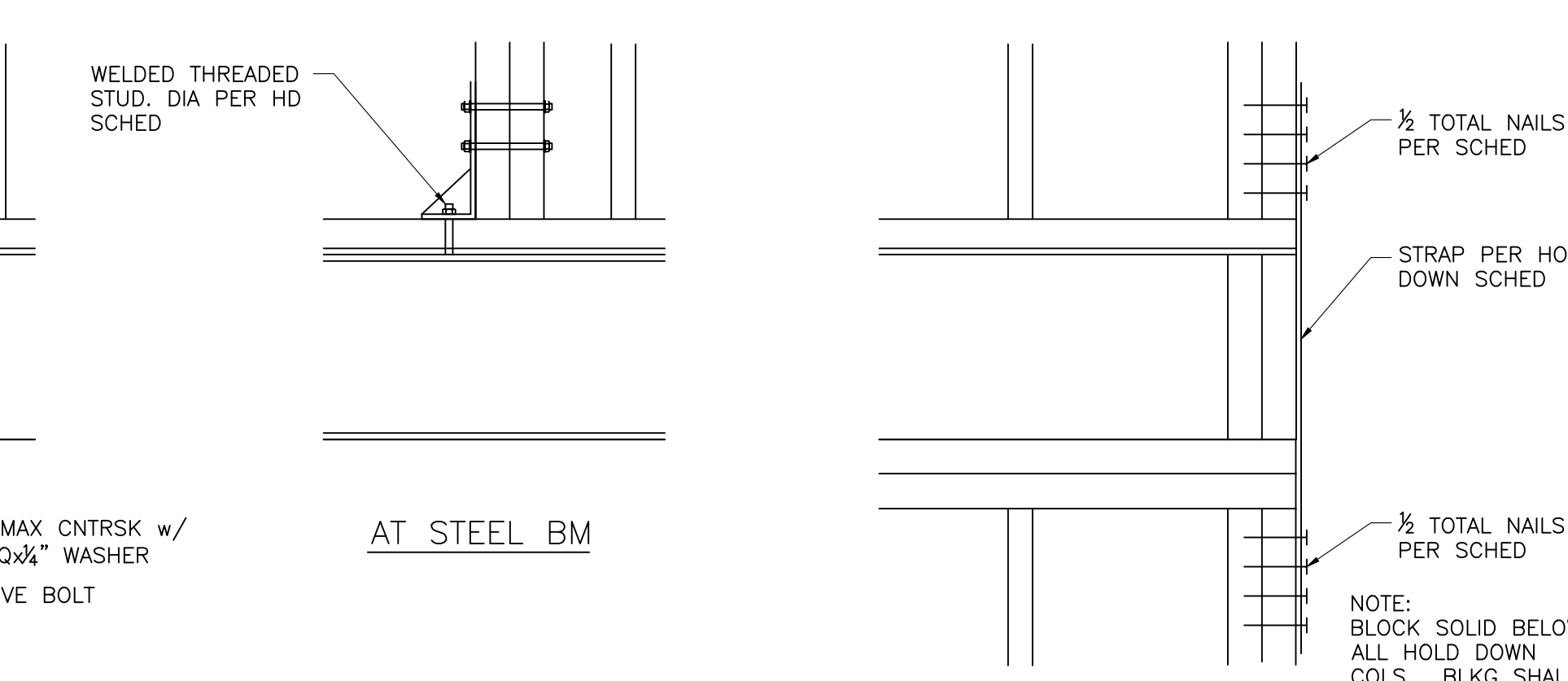
HOLD DOWN SCHEDULE					
MARK	HOLD DOWN	ANCHOR BOLTS	STUD FASTENERS	MIN POST REQUIRED	ALLOWABLE TENSION (lbs)
					DOUG-FIR
HD1	MST1	18--.148x1 1/2" EA END	18--.148x 1 1/2" EA END	(2) 2x	3808
HD2	HDU2-SDS2.5 OR MSTC48B3 @ WD BM BEL	3/8" @ MB FLR TO FLR, SSTB16L @ NEW CONC WALL OR FTG, 5/8"x12 1/2" EMB @ EXIST CONC STEM WALL	6-SDS 1/4"x2 1/2" @ HDU2 38-10d @ MSTC	(2) 2x	3075
HD3	HDU4-SDS2.5 OR MSTC66B3 @ WD BM BEL	3/8" @ MB FLR TO FLR SB 5/8"x24 @ NEW CONC WALL	10-SDS 1/4"x2 1/2" @ HDU4 38-10d @ MSTC	(2) 2x	4565
HD4	HTT5	3/4"x15" EMB @ EXIST CONC STEM WALL w/SIMPSON AT EPOXY	26-0.162x 2 1/2" NAILS	4x6 MIN	5090
HD5	HDU2-SDS2.5	3/8" @ 12 1/2" EMB @ EXIST CONC WALL	6-SDS 1/4"x2 1/2"	6x6	3075
HD6	HDU2-SDS2.5	3/8" @ 8" EMB @ EXIST CONC FTG		(2) 2x	3075

- HOLD DOWN NOTES:
1. HOLD DOWNS ARE REQUIRED AS SHOWN ON THE FRAMING PLANS.
  2. AT CORNERS COMMON TO TWO SHEAR WALLS USE THE LARGER OF THE HOLD DOWNS ONLY.
  3. ALL HOLD DOWN COLUMNS SHALL BE DF.
  4. HOLD DOWN ANCHOR BOLTS THAT OCCUR ABOVE A WF BEAM SHALL BE WELDED DIRECTLY TO THE WF BEAM BELOW SO THAT THE FULL CAPACITY OF THE ANCHOR BOLT IS DEVELOPED.
  5. ALL HOLD DOWNS SHALL BE CONNECTED TO POSTS BELOW AND A BEAM BELOW. SEE 6/- FOR DETAILS.
  6. ALL CALLOUTS REFER TO SIMPSON STRONGTIE PRODUCTS. OTHER MANUFACTURED HOLD DOWNS MAY BE SUBSTITUTED PROVIDED THAT TESTING DATA IS PROVIDED TO VERIFY THAT THE VALUES LISTED WILL BE MET OR EXCEEDED.

SHEAR WALL SCHEDULE								
MARK	APA RATED SHEATHING	NAILING AT PANEL EDGES	PANEL EDGE STUD AND BLKG	RIM JOIST OR BLOCK CONNECTION TO TOP PLATE	HEM-FIR (NORTH), BOTTOM PLATE ATTACHMENT TO WOOD BELOW	HEM-FIR (NORTH), SILL PLATE ATTACHMENT		CAPACITY (plf)
						ANCHOR BOLT	SILL	
SW1	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 6" OC	2X	A35 @ 16" OC	(2) 16d @ 16" OC OR 5/8" LAG SCREWS @ 32" OC	3/4" @ 48" OC OR @ MTL DK 0.177 @ PAF @ 6"	2X MIN	310
SW2	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 4" OC	3X MIN	A34 AND LTP4 16" OC	(2) 16d @ 8" OC OR 5/8" LAG SCREWS @ 16" OC	3/4" @ 24" OC	3X MIN	460
SW3	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 3" OC	3X MIN	A35 AND LTP4 16" OC	5/8" LAG SCREWS @ 12" OC	3/4" @ 18" OC	3X MIN	600
SW4	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 2" OC	3X MIN	A35 AND LTP4 16" OC	5/8" LAG SCREWS @ 8" OC	3/4" @ 12" OC	3X MIN	770
SW5	15/32" PLYWOOD SHEATHING, TWO SIDES	10d @ 3" OC	3X MIN	A35 AND LTP4 8" OC	5/8" LAG SCREWS @ 4" OC	3/4" @ 8" OC	3X MIN	1200
SW6	SIMP WOOD SHEAR WALL WSW24x7	NA	NA	PER SIMPSON	PER SIMPSON	PER SIMPSON	PER SIMP	2770

- SHEAR WALL NOTES:
1. INSTALL PANELS EITHER HORIZONTALLY OR VERTICALLY.
  2. WHERE SHEATHING IS APPLIED ON BOTH FACES OF WALL, PANEL JOINTS SHALL BE STAGGERED SO THAT JOINTS ON OPPOSITE SIDES ARE NOT LOCATED ON THE SAME STUDS.
  3. BLOCKING IS REQUIRED AT ALL PANEL EDGES.
  4. PROVIDE SHEARWALL SHEATHING AND NAILING FOR THE ENTIRE LENGTH OF WALLS INDICATED ON PLAN.
  5. INTERMEDIATE FRAMING TO BE WITH 2X MINIMUM MEMBERS.
  6. FIELD NAILING @ 12" OC.
  7. PROVIDE HOT-DIPPED GALVANIZED (ELECTRO-PLATING IS NOT ACCEPTABLE) NAILS AND CONNECTOR PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED FRAMING MEMBERS.
  8. WHERE BOTTOM PLATE ATTACHMENT SPECIFIES (2) ROWS OF NAILS, PROVIDE DOUBLE JOIST, RIM OR EQUAL. ATTACH PER DETAILS.
  9. ALL SHEAR WALL FRAMING TO BE DF. NO OTHER SPECIES ALLOWED.

SHEAR WALL & HOLD DOWN SCHEDULES  
NO SCALE



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3315 97TH AVE SE  
MERCER ISLAND, WA

ISSUE:  
PERMIT SET  
PERMIT COMM RESPONSE  
PERMIT COMM II RESP  
STEEL UPDATE

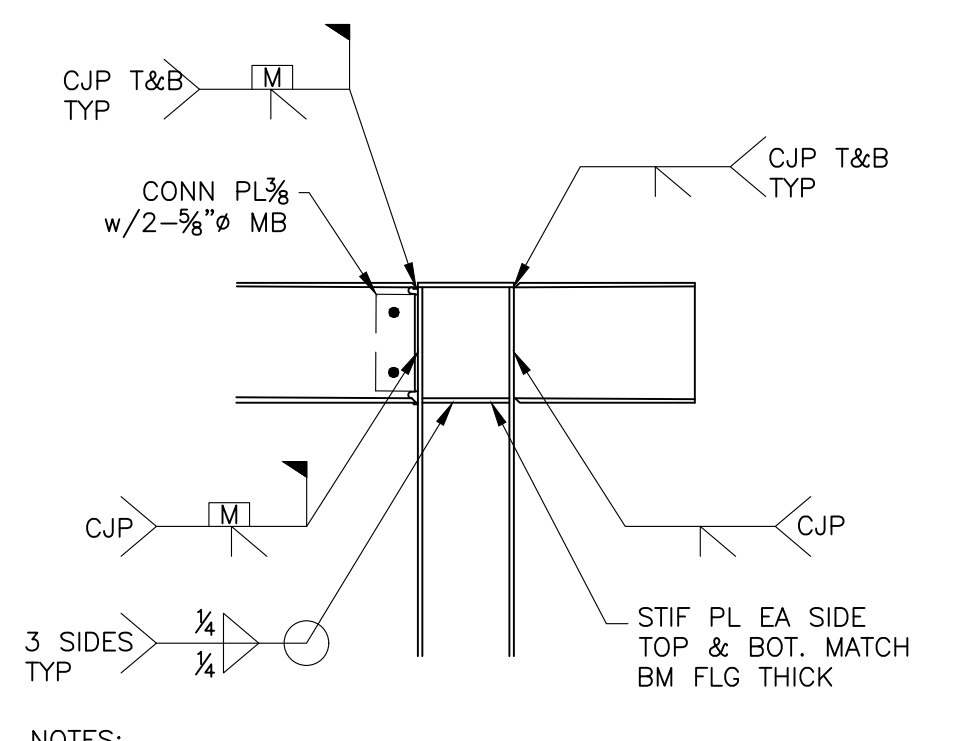
04/13/2020  
07/06/2020  
08/20/2020  
08/28/2020

DATE:  
13 APRIL 2020

SHEET TITLE:  
TYP FRAMING

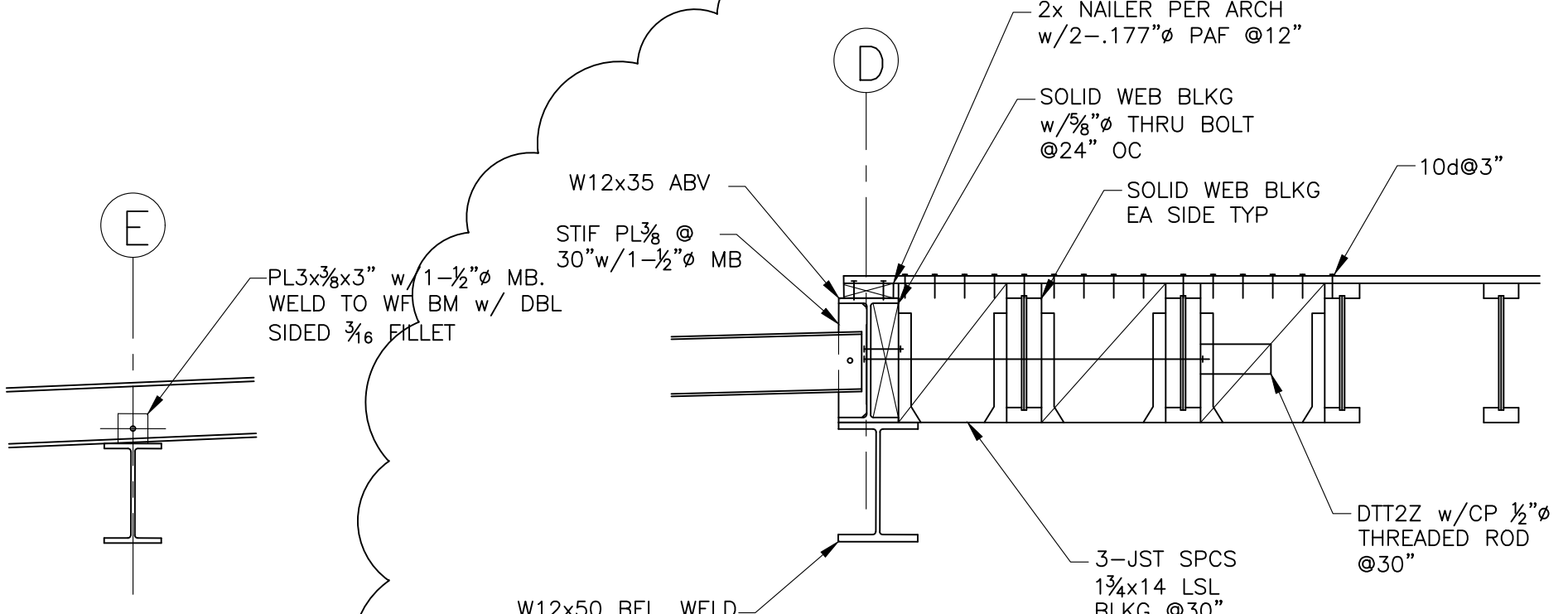
DETAILS  
SHEET:

S4.1



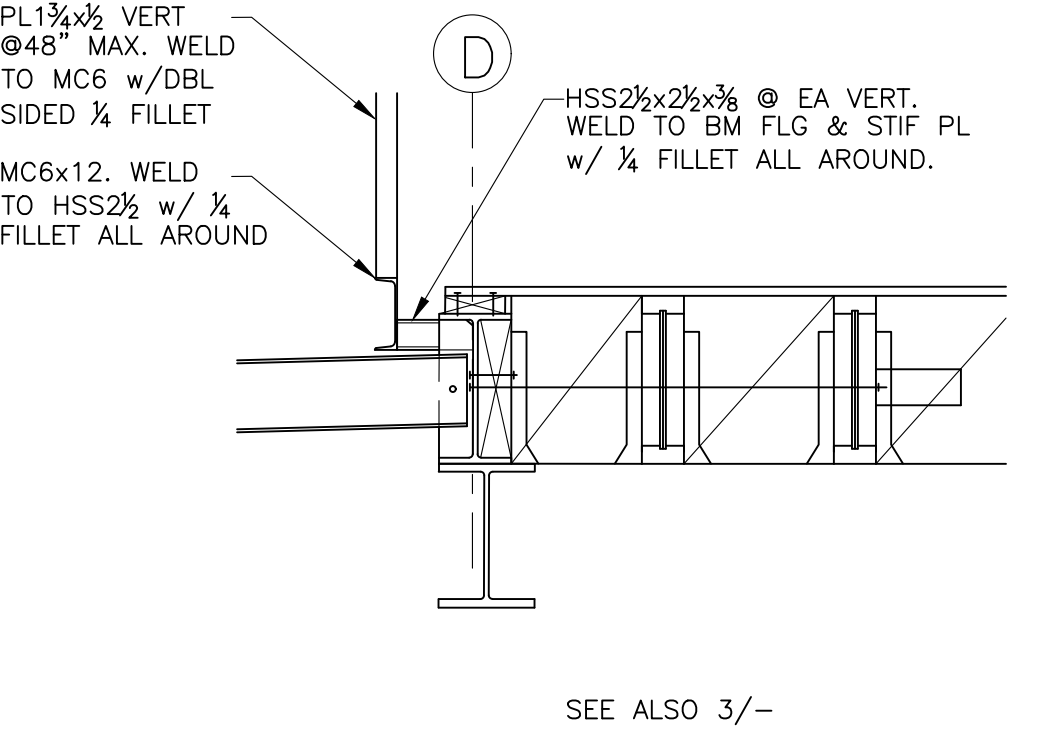
NOTES:  
 1. CJP WELD FILLER METALS MUST MEET AWS D1.8 CLAUSE 6.3.  
 2. AFTER FIELD WELDS ARE IN PLACE, REMOVE CONNECTION PLATE AND BACKER BARS AND WELD SOLID BOLT HOLES. GRIND ALL SURFACES SMOOTH.

**5 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"



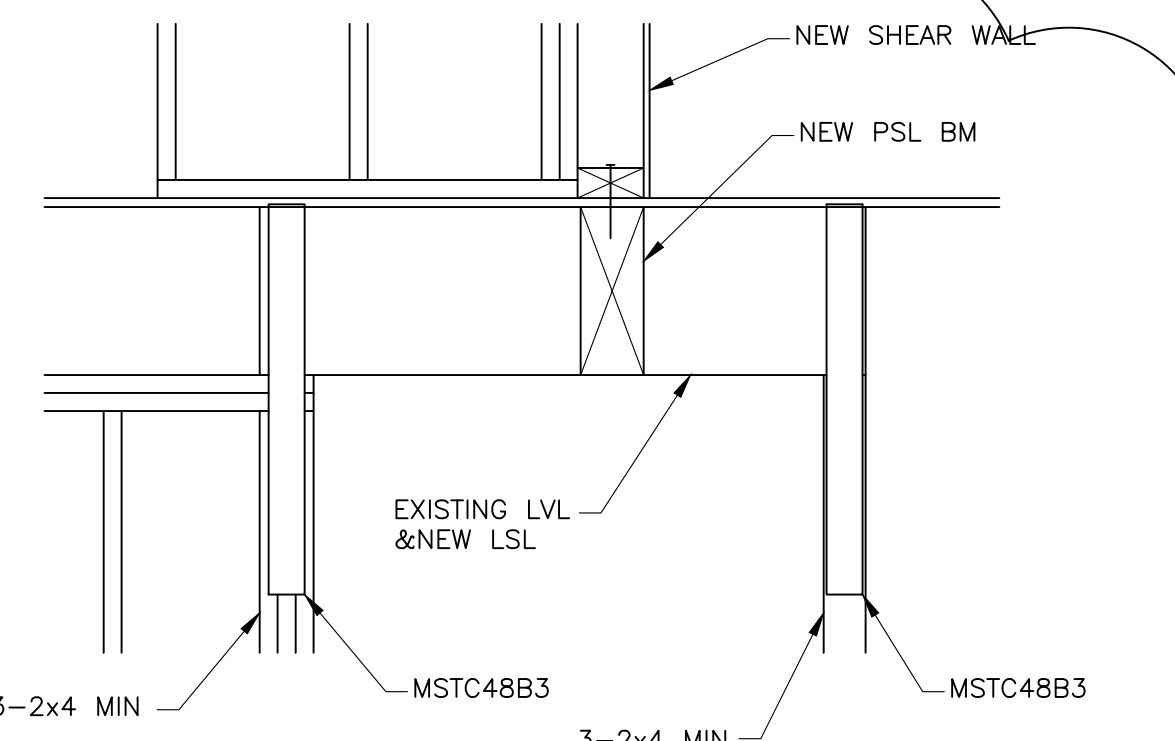
NOTES:  
 1. AT GUARDRAIL SEE 2/-  
 2. FOR BLKG SEE 8/-

**3 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"



SEE ALSO 3/-

**2 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"



**1 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"

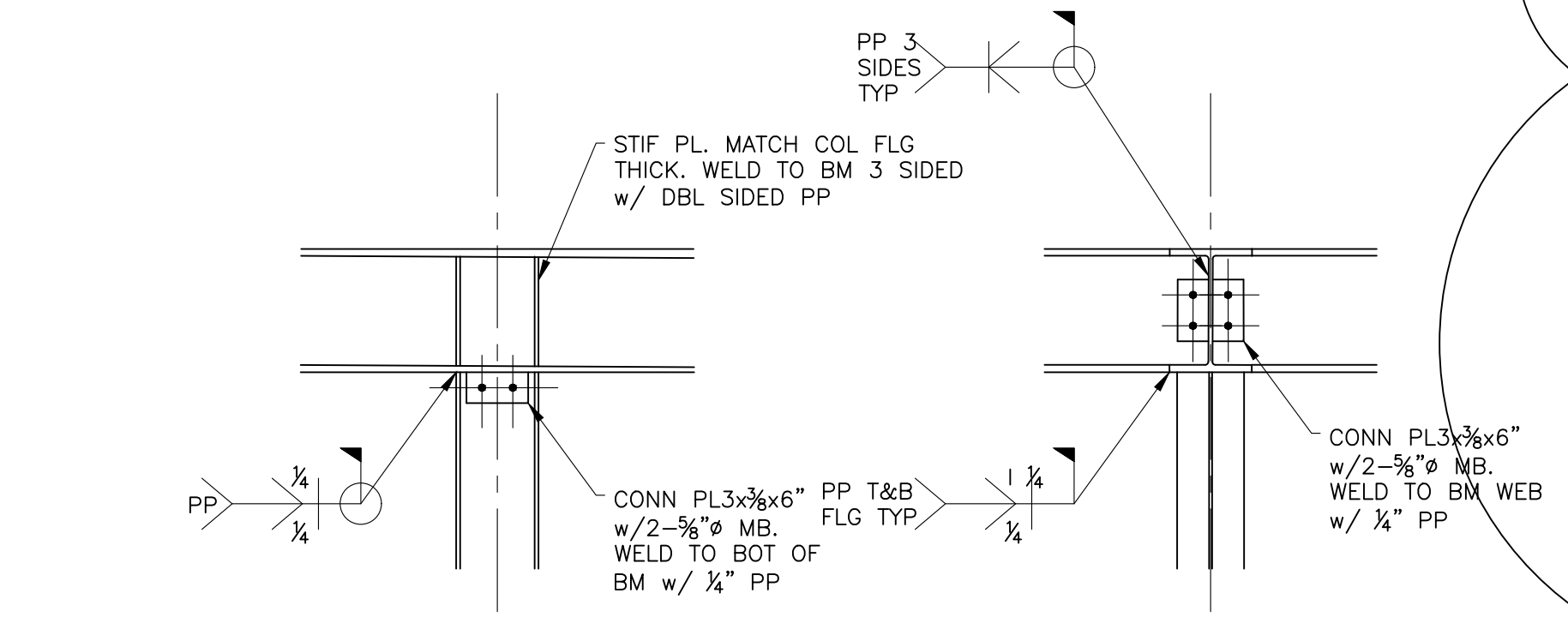
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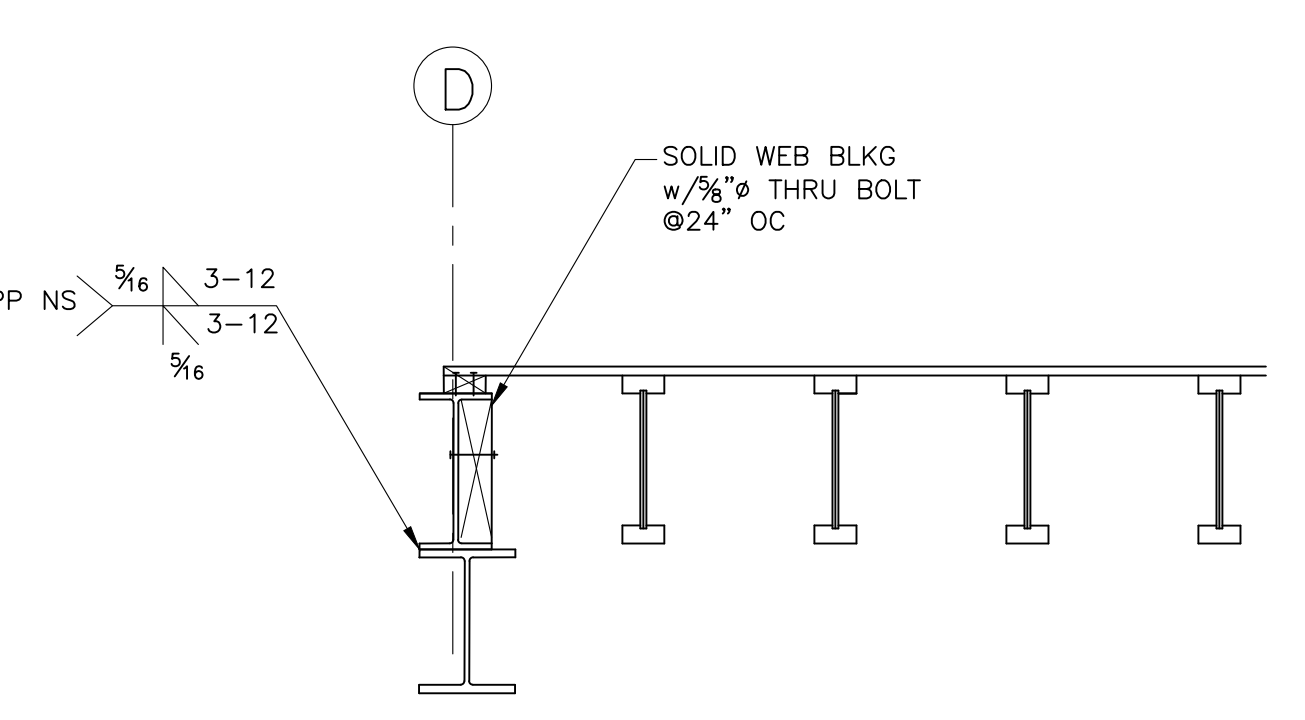
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ISSUE:  
 PERMIT SET 04/13/2020  
 PERMIT COMM RESPONSE 07/06/2020  
 PERMIT COMM II RESP 08/20/2020  
 STEEL UPDATE 08/28/2020



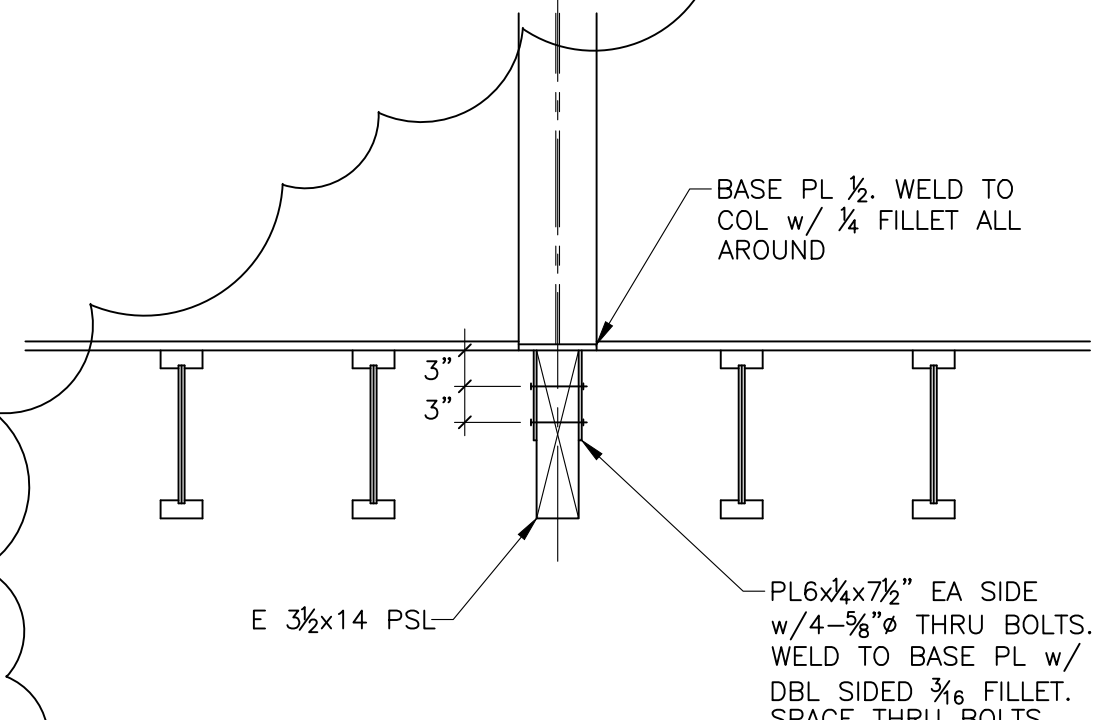
NOTES:  
 1. AFTER FIELD WELDS ARE IN PLACE, REMOVE CONNECTION PLATE AND WELD SOLID BOLT HOLES. GRIND ALL SURFACES SMOOTH.

**10 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"

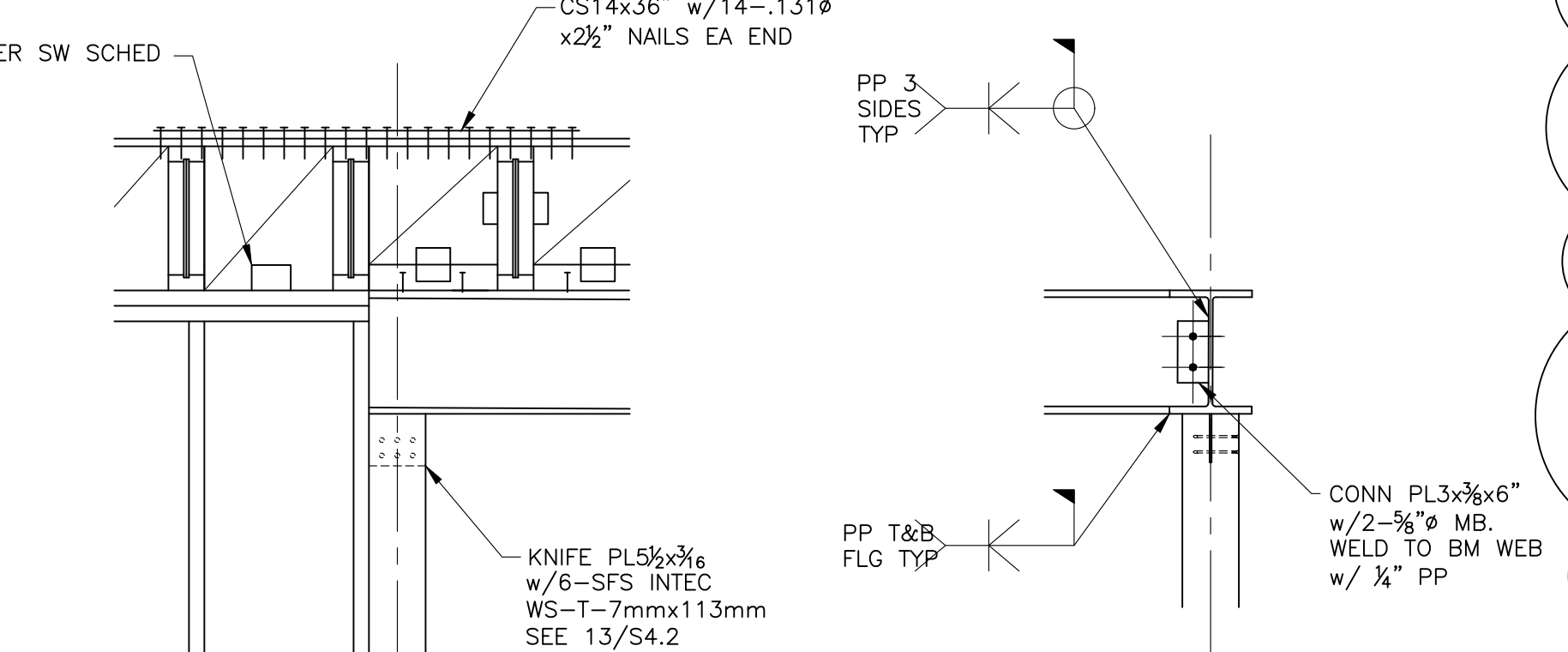


NOTES:  
 1. AT GUARDRAIL SEE 2/-  
 2. FOR NAILER FAST SEE 3/-

**8 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"

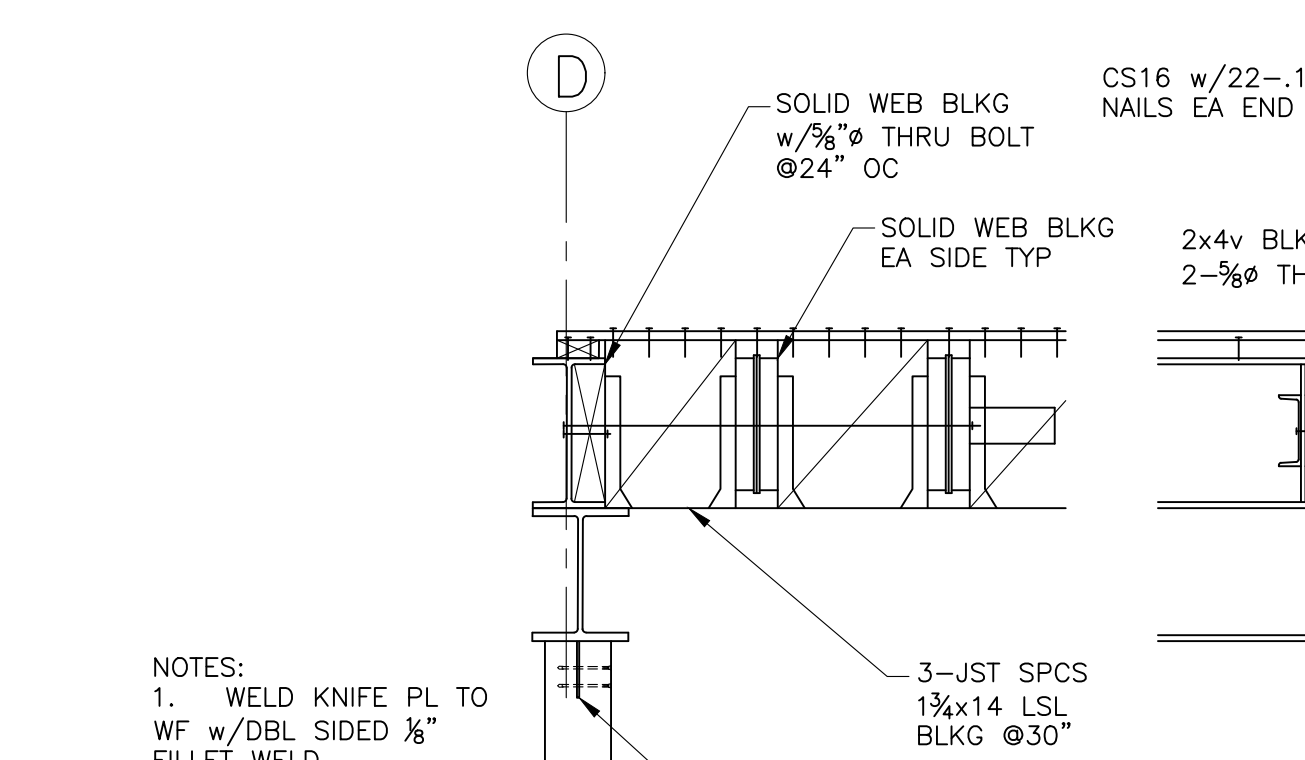


**7 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"



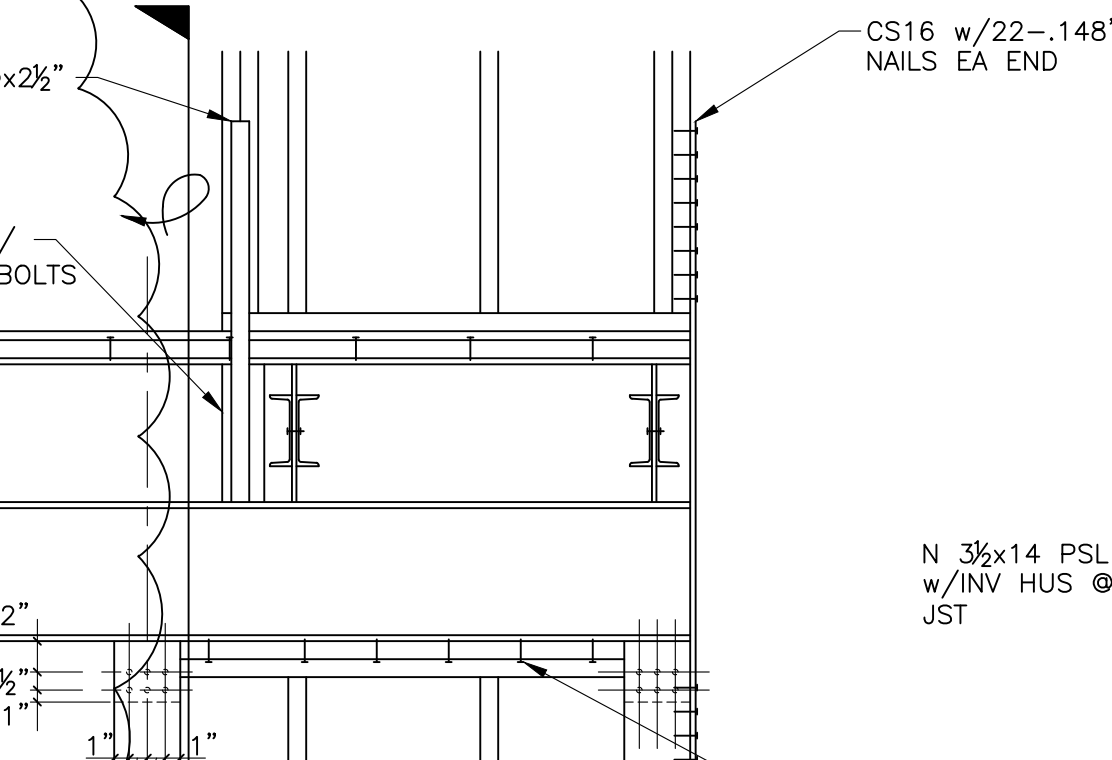
NOTES:  
 1. AFTER FIELD WELDS ARE IN PLACE, REMOVE CONNECTION PLATE AND WELD SOLID BOLT HOLES. GRIND ALL SURFACES SMOOTH.

**15 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"

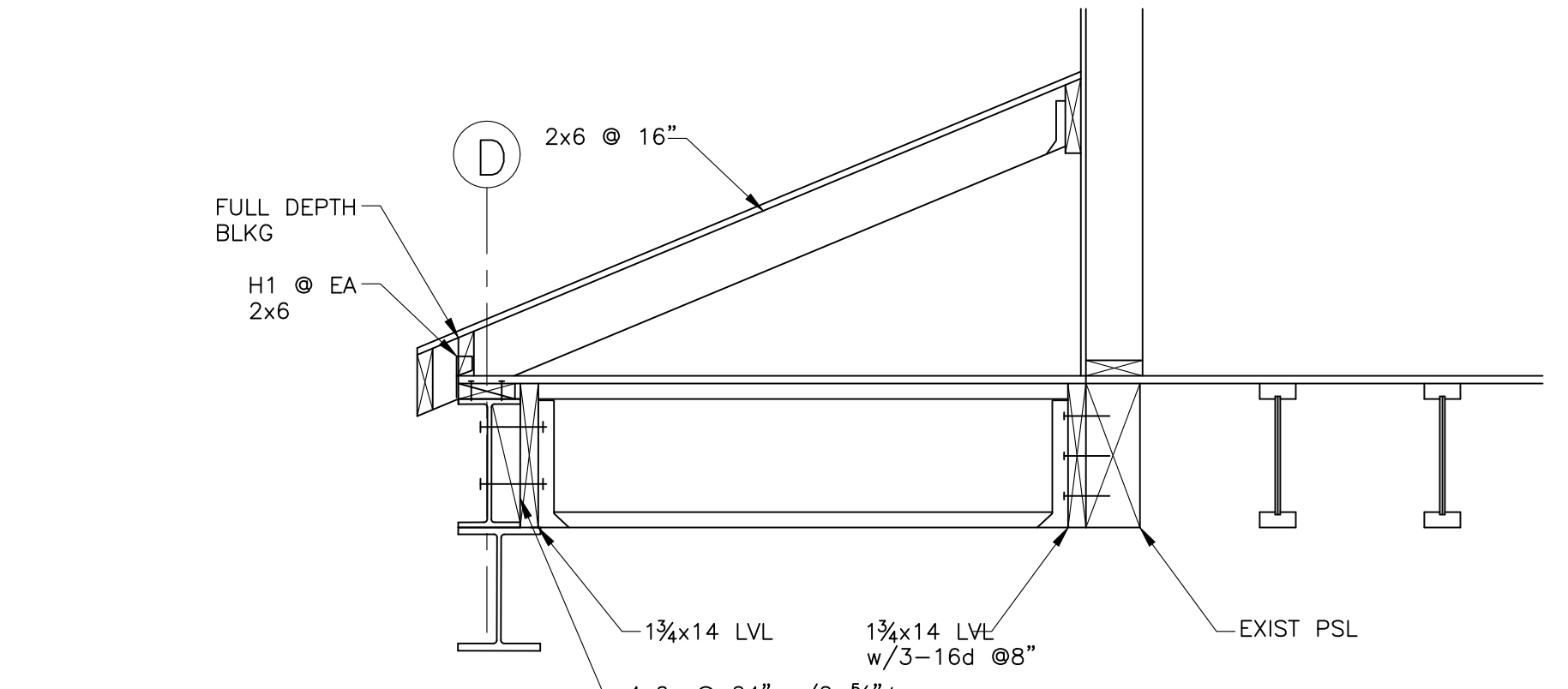


NOTES:  
 1. WELD KNIFE PL TO WF w/DBL SIDED 1/2\"/>

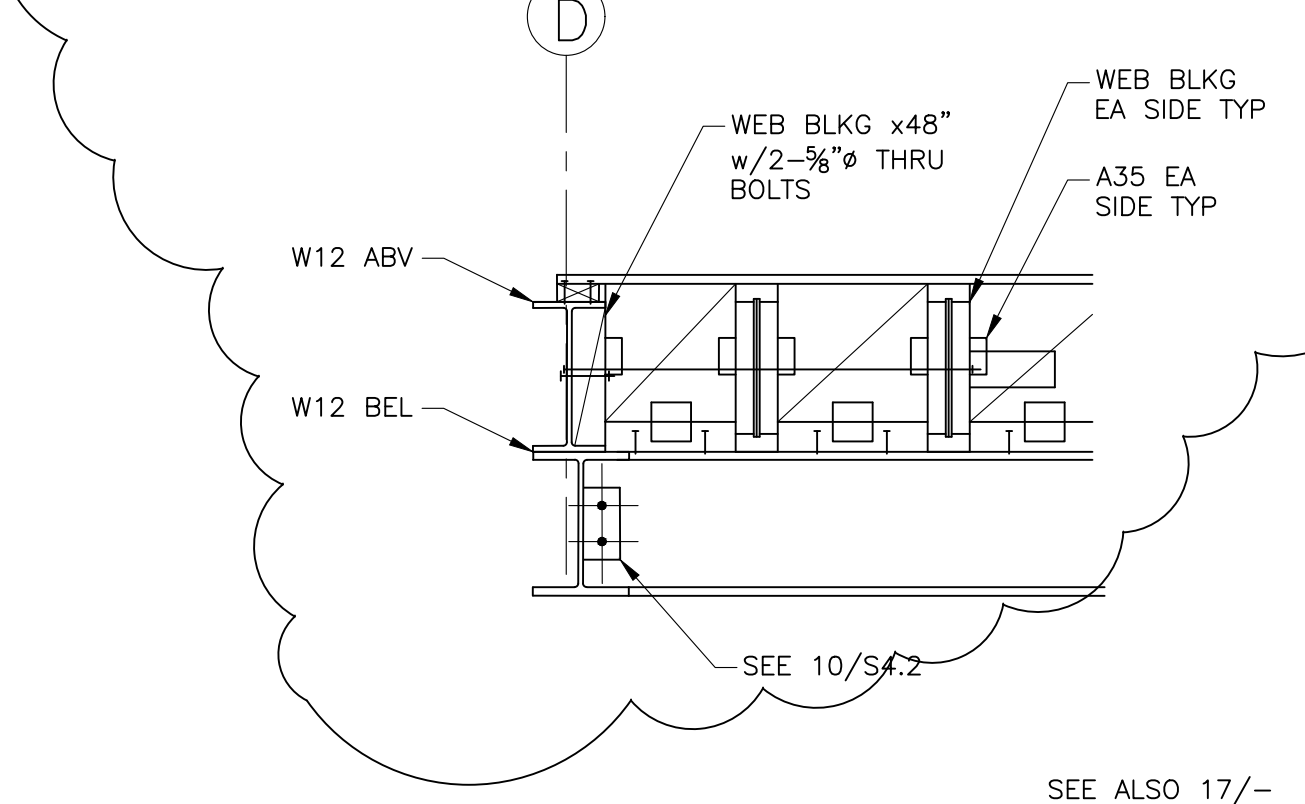
**13 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"



**11 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"

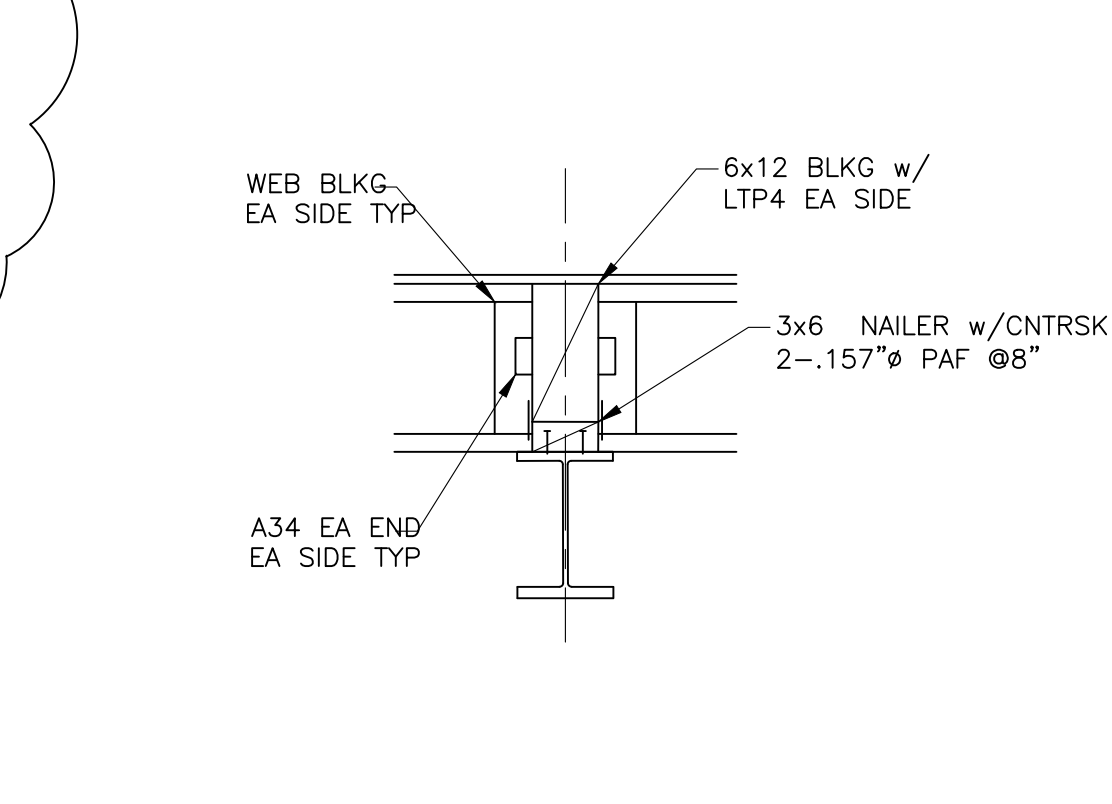


**20 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"

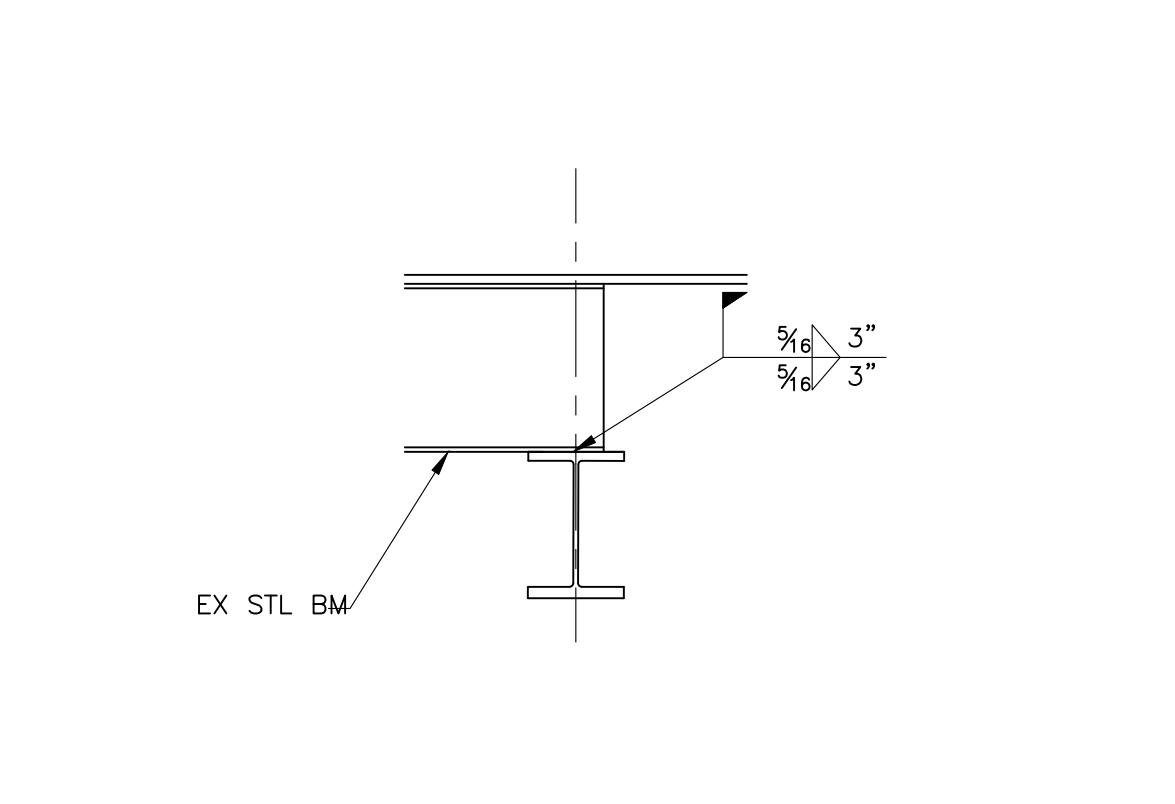


SEE ALSO 17/-

**18 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"



**17 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"



**16 SECTION**  
 S4.2 SCALE: 3/4" = 1'-0"

DATE:  
**13 APRIL 2020**

SHEET TITLE:  
**FRAMING DETAILS**

SHEET:  
**S4.2**